

ORDINANCE 22-24

AN ORDINANCE TO AMEND ORDINANCE NO. 18-21, THE SAME BEING THE ZONING ORDINANCE AND OFFICIAL ZONING MAP OF THE CITY OF SPRING HILL, BY REZONING APPROXIMATELY 213 ACRES OF PROPERTY, KNOWN AS MAURY COUNTY TAX MAP 28, PARCEL(S) 01600 and 01900 FROM C-5 AND I-1 ZONING TO PLANNED DEVELOPMENT WITH A BASE ZONING OF C-5 (COMMERCIAL MIXED USE).

PDP 1284-2022(TAX MAP 28, PARCEL(S) 01600 and 01900)

WHEREAS, the City of Spring Hill Ordinance No. 18-21, the same being the Official Zoning Map of Spring Hill is hereby amended by rezoning the 213 acres of property described herein, and known as, Maury County tax map 28, parcel 01600 and 01900 from C-5 and I-1 to Planned Development with a base Zoning of C-5 (Commercial Mixed Use); and

WHEREAS, said portion of property to be rezoned from C-5 and I-1 to Planned Development with a base Zoning of C-5 (Commercial Mixed Use), is located within the corporate limits of the City of Spring Hill.

WHEREAS, the request has been found to meet the Approval Standards of Section 13.5.E.4.e of the Unified Development Code and included the following attached Exhibits, Entitlements, and Exception request:

1. EXHIBITS:

- a. EXHIBIT A – Project Pattern Book: this document includes the requested uses, bulk and area requirements, and design requirements of the architecture. The pattern book establishes the base regulations of the development, where the pattern book is silent the base zoning standards of C-5 and base standards of the UDC control.
- b. EXHIBIT B – Project Technical Sheets: this document includes the technical documents associated with the project. Material included are the road profile sheets, site plan general layout sheets, auto-turn exhibits, street tree landscape plan, tree canopy analysis, and additional technical information.
- c. EXHIBIT C- Planning Commission action and list of project conditions.

2. ENTITLEMENTS:

- a. 136,000 Square Foot United States Tennis Association Regional Head Quarters/Tennis Center
- b. 600,000 Square Foot Commercial Uses
- c. 1,000 Keys for Hotels
- d. 2,130 Dwelling Units spread across single family, duplexes, townhomes, and multi-family.

3. EXCEPTION:

- a. Site specific bulk and area standards for both the commercial and residential sections of the mixed-use development. (Included within Exhibit A). One specific bulk area request is a 100’ building height maximum for Mixed Use and Office Uses. Other bulk standards have also been requested.
- b. Development specific permitted uses. A table of uses has been included within the provided Pattern Book.
- c. Spring Hill Crossings is designated the main commercial boulevard labeled “main street” a private street in order to facilitate the closing of the street for community events. (Included within Exhibit A).

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- d. A redlined version of the Spring Hill UDC architectural standards for the CDC zoning district has been submitted as part of the Pattern Book. This requirement if approved, will be the regulations utilize to review future architectural and design submittals. (Included within Exhibit A)

WHEREAS, the Spring Hill Municipal Planning Commission forwarded the request to the Board of Mayor and Aldermen on November 14, 2022 to be recommended for approval in accordance with exhibit C as provided; and

WHEREAS, the Spring Hill Municipal Planning Commission forwarded the request to the Board of Mayor and Aldermen on November 14, 2022 with a recommendation for approval; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY OF SPRING HILL, TENNESSEE, BOARD OF MAYOR AND ALDERMEN, WHILE IN REGULAR SESSION on December 19, 2022, to amend Ordinance No. 18-21, the same being the Zoning Map of the City of Spring Hill, adopted August 20, 2018, by 213 acres of property described herein, and known as, Maury County tax map 28, parcel 01600 and 01900 from C-5 and I-1 to Planned Development with a base Zoning of C-5 (Commercial Mixed Use), as depicted on Sheet P2.0 of Exhibit B and Sheets 2, 3, 4, and 6 of Exhibit A.

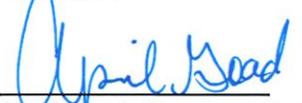
NOW, THEREFORE, BE IT FURTHER ORDAINED BY THE CITY OF SPRING HILL, TENNESSEE, BOARD OF MAYOR AND ALDERMEN, that all Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SECTION 1: The rezoning of the referenced tax parcels shall be as displayed as shown within the Plan Development request package.



Jim Hagaman, Mayor

ATTEST:



April Goad, City Recorder

LEGAL FORM APPROVED:



Patrick Carter, City Attorney

Passed on First Reading: December 5, 2022

Passed on Second Reading: December 19, 2022

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December 19, 2022
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MEMORANDUM



DATE: December 19, 2022
TO: Board of Mayor and Aldermen (BOMA)
FROM: Pete Hughes, Interim Director
SUBJECT: Ordinance 22-24 (PDP 1284-2022) Preliminary Plan Development for Spring Hill Crossing/Project Smash

Request: Submitted by Gamble Design for Spring Hill Crossings, located at Crossings Blvd. The property is zoned C-5 and I-1 and contains approximately 213.1 acres. The applicant requests plan development approval with a base zoning of C-5 (mixed use). The applicant is proposing a mixed-use development and the proposal includes an entitlement request of a 136,000 SF United States Tennis Association facility, 600,000 square feet of commercial development, 1000 Hotel Rooms, a 17.37-acre recreational area, a main street corridor, and 2,130 residential dwelling units.

Entitlement Summary		
136,000	SF	USTA REGIONAL HQ / TENNIS CENTER
600,000	SF	COMMERCIAL
1,000	Keys	HOTEL
2,130	Residences	TOTAL RESIDENTIAL

Project Narrative: (provided by applicant): The Crossings at Spring Hill Planned Development is envisioned as a robust mixed-use development with several anchors encouraging frequent use throughout the year. A regional headquarters for USTA including an indoor/outdoor tennis center is at the heart of the proposed development. The proposed development also includes a vibrant, main street style, mixed-use streetscape area with restaurants and retail uses fronting an urban boulevard capable of being closed to vehicular use for pedestrian-only special events. A large-scale fitness and lifestyle center is also proposed within the development. These commercial uses are supported by a variety of neighborhood-scale commercial uses potentially including restaurants, convenience market, daycare, and other neighborhood commercial support services. Mixed-scale residential including multifamily, townhouse, duplex, and single family residential will provide opportunities for residents who want to be close-by this diverse, mixed-use experience. Approximately 16 acres of public park are also proposed which include trails connecting the near-by battlefield to the development and to the broader surrounding community. Residential areas are proposed to include their own network of open spaces, amenities, and pools.

Property Description and History: The subject project is currently multiple undeveloped lots zoned C-5 and I-1 and there is no recent development history of the property. The property is located within the greater, existing Spring Hill Crossings development and is bordered by Saturn Parkway, Cannon Hill, and Kedron Road.

Adjacent Land Uses and Zoning Classifications		
Direction	Use	Zoning
North	The Columns and Residential neighborhood	C-4 and R-1
East	Cannon Hill and The Shops of Kedron	NA and C-4
South	Saturn Parkway	N/A
West (Northwest)	AMC Theater, Restaurants, Commercial Center	C-4

Planned Developments: Planned Developments (PDs) are intended to encourage and allow more creative and flexible development of land than is possible under district zoning regulations and should only be applied to further those applications that provide enhanced amenities or design features to the City. The underlying zoning district dimensional, design, and use regulations apply to a PD unless specifically modified through the approval process.

Analysis: The site plan proposes 2,130 dwelling units (a density of 10 dwelling units per acre), 600,000 SF of commercial mixed-use development, 1,000 Rooms worth of hotels, and 136,000 square USTA regional headquarters that includes 26 outdoor courts and 12 indoor courts with a base zoning of C-5.

The applicant is requesting site specific development standards included within their pattern book. The pattern book is if approved would establish the development standards by which future projects and submittals within the 213-acre development will be regulated. Significant requests include a 100' building height maximum for office and mixed use development, allowing a variety of standalone residential uses within C-5 zoning, modified architectural design standards based on the UDC's CDC design standards, a private "main street corridor" to facilitate easy closure of the street and community gatherings, specific use table for the development, and standalone jewel box commercial buildings.

Public Benefit:

1. Sport Tourism: USTA is projected to bring 8,000 to 11,000 visitors per week to Spring Hill. Impact studies for similar facilities project between 10-20 million dollars of expenditures by players and guests.
2. Community Benefits: This development will create a regional destination and a community center focused on Tennis and focused on Health and Wellness. Spring Hill Crossings will also celebrate and preserve the adjacent Spring Hill Battlefield. The Development will create housing across a variety of price points and ownership types.
3. Open Space: Addition of an open space set aside that includes a multi-use trail that connects and extends existing trail system in the area.
4. Historic Place Making through the addition of historical signage and stake and rider fencing.
5. Additional buffer between the development and the Spring Hill battlefield.

Planning Commission Action: *Alderman Matt Fitterer made a motion and Alderman Trent Linville seconded to favorably recommend PDP 1284-2022 to the BOMA for approval with the forty-two (42) Staff provided conditions of approval. The motion to favorably recommend PDP 1284-2022 to the Board of Mayor and Aldermen with the Staff associated conditions of approval passed by a vote of 6-1. The nay vote was by Chairman Duda.*

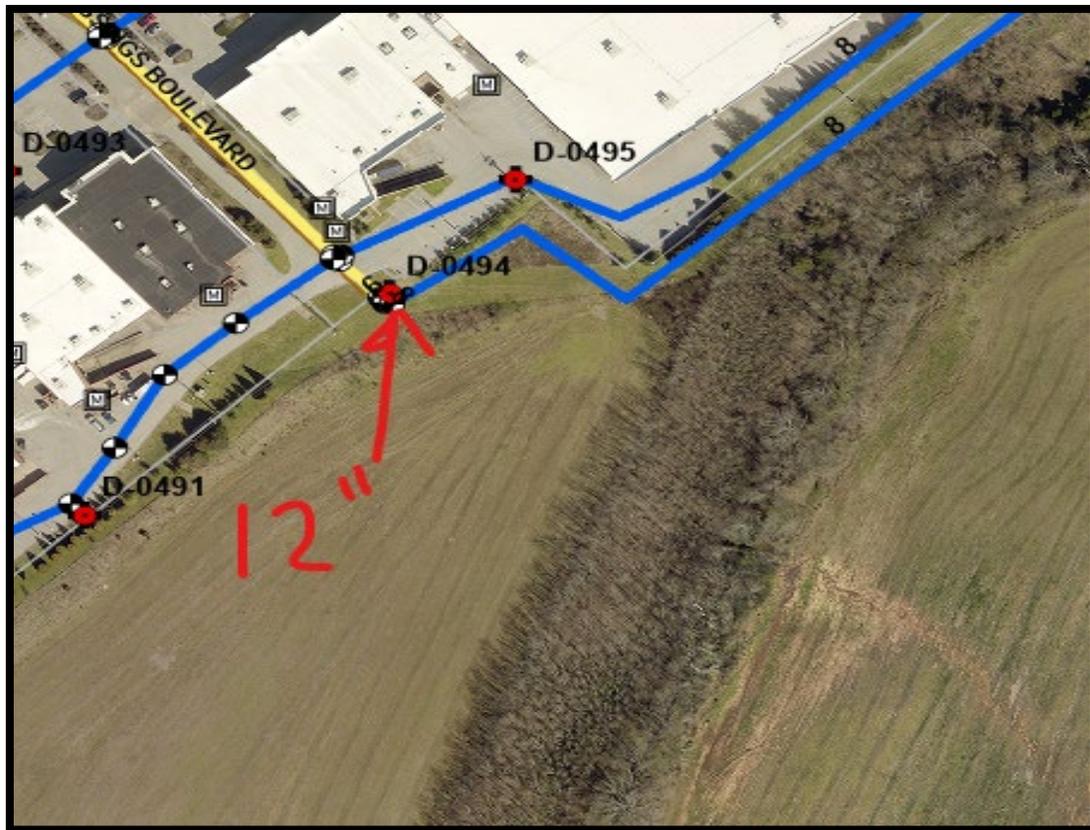
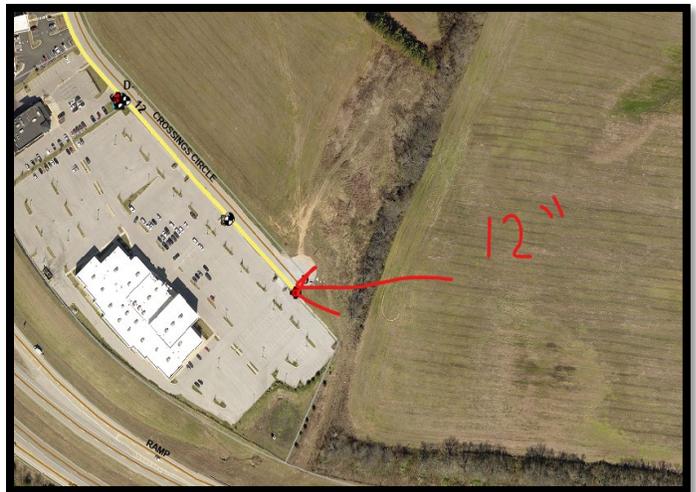
Planning and Engineering Conditions:

1. Approval of this preliminary plan development will be valid and vesting in accordance with the vesting Table 13-2 from the date of Planning Commission approval. Modification to the approved plan may require Planning Commission Approval or BOMA approval. The date of the approval will be tied to and vested in accordance with all city development regulations in place at the time of approval to include, but not be limited to the Unified Development Code last amended October 17, 2022.
2. The final revised preliminary development plan as approved by the Planning Commission and BOMA must be provided to the Planning Department within 30 days of final approval. Please submit the approval with the following documents within one document:
 - a. Technical sheets
 - b. Pattern Book
 - c. Application
 - d. Approval Letter (provided by city)
 - e. Ordinance adopted by BOMA (provided by city)
 - f. Any and all additional documents included as exhibits during the BOMA approval process

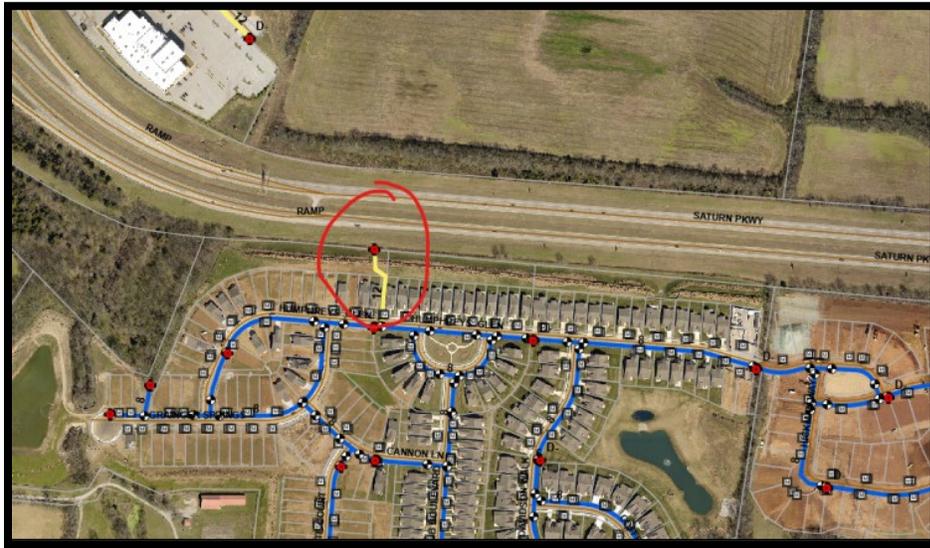
3. Tree surveys will be required for each Plan Development Final submittal.
4. The recreational area must be improved prior to the first CO being issued for Phase 4. If the recreation area has been dedicated to the battlefield trust, no improvements are required and this condition is voided.
5. The location of the self-storage building will be limited to the location indicated within the submitted plans and the architectural design and finishes must be congruous with the architectural finishes of the neighboring uses.
6. The applicant must work with staff to identify the approach to managing the developments impact to TDEC streams, stream buffers, and floodplain to ensure compliance with the NFIP is satisfied.
7. Compliance with the USACE Water of the US and endangers species act must be adhered to and coordination with the City Engineer.
8. The plan development final plans must detail crosswalks and ADA ramps at the applicable locations, and there must be ADA access from the sidewalk to all buildings, commercial sites, and public amenity spaces.
9. The Bulk and Area requirements as presented within the pattern book will dictate lot development criteria.
10. The development will be limited to specific primary and accessory land uses identified within the provided pattern book. Any use that is not explicitly allowed will not be a permitted use. In order to add a use, the plan will be required to be amended through the Plan Development process as outlined in the UDC.
11. All buildings must be oriented to and have a public entrance from the highest street classification that the lot fronts. Public entrances must be visually distinctive from the remaining portions of the façade along which they are located.
12. The applicant must provide complete and sufficient information in the applicable design satisfactorily addressing the City Engineers comments before any permits or a pre-con meeting can occur. Any disagreement on information, design or accuracy of information between the City Engineer and applicant that cannot be resolved must be heard by the Planning Commission for a final determination.
13. All rooftop equipment must be screened in accordance with the UDC.
14. All proposed curb cuts and proposed driveways must comply with table 16-3 "Driveway Spacing" and Article 16.5.D curb cuts of the UDC
15. Stormwater drainage calculations and drainage plans will be required at the time of Plan Development Final (site plan) submittal.
16. Preliminary plats and final plats will be required to be submitted in accordance with the process identified within the UDC. Specific timing of submittals will be determined at the time of Plan Development Final submittal(s).
17. Clear cutting the site is not permitted and. A grading permit is required for all grading activities and reasonable protection and preservation of exiting mature tree growth will be required.
18. Major modification to the street network will require a PDP modification to be approved following the PDP process as describe in Article 13 of the UDC.
19. If phasing and development occur out of order from what has been presented within the proposed pattern book, any condition linked to phasing will be amended administratively by staff through coordination with the developer to ensure conditions as presented correspond accordingly.
20. Where the PDP pattern book and proposed ordinance is silent the UDC base standards will apply, this includes but is not limited to Articles 9, 10, 11, 12, 13, 15, and 17 of the UDC.

Utility Department Conditions of Approval for USTA/SMASH:

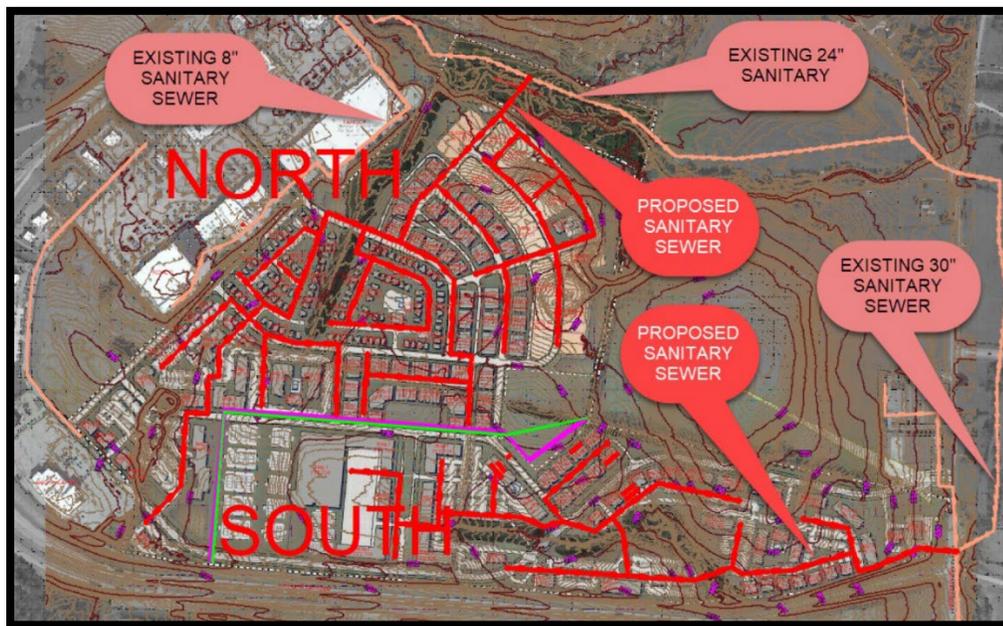
1. This condition shall be confirmed upon final completion of the water modeling results. Phases 1A,1B, and Phase 2 shall be constructed/fed from the existing feeds: The 12-inch Crossing Blvd line, the 12-inch line along Crossings Cir; and the 8-inch feed from Jackson Jones behind Target. (See drawings below.) These improvements must be completed prior to issuance of any building permits.



- The 12-inch water line connecting under Saturn Parkway must be bored and installed prior to issuing building permits for proposed phase 3 as submitted (to be constructed dependent upon water modeling results, or if the water model determines an earlier phase)



- The sanitary sewer line needed to serve the northern sewer shed for the project must be installed prior to issuance of building permits for Phase 1A. The sanitary sewer line needed to serve the southern sewer shed for the project must be installed prior to issuance of building permits for Phase 1B. These conditions are based off the proposed sanitary sewer layout submitted as part of the water and sewer capacity analysis. Any private sewer shall be constructed to public standards.



4. The Utility Department shall review and approve all utility crossings and casings prior to any roads being built so that appropriate provision is made for future utility crossings without having to open cut or bore new roads constructed as part of this development.
5. The Applicant shall coordinate with Utility Department regarding establishing a joint development agreement for potential upsizing of southern sewer shed primary interceptor to make provision to serve future development of properties south of Saturn Parkway. Any upsizing proposals shall be presented to BOMA for review and approval.
6. This development shall be allocated 300,000 gallons of average daily sewer flow. Each future submittal shall include a table showing the sewer allocation and shall note how proposed uses draw down against the allocation. Once the allocation has been fully utilized, no further allocation shall be provided until the wastewater treatment plant expansion has begun construction.
7. Buildings over 75 feet in building height may be required to add a pump or booster pump to provide adequate flows and pressures to upper floors. This shall be determined with each individual project since specific floor heights and sprinkler demands are not known at this time.
8. The applicant shall be required to show the essential domestic water demand along with the non-essential irrigation demand for the whole project broken down by phase. Based on these calculations, the Utility Department shall establish further conditions to provide an allocation of water available from the Water Treatment Plant. The utility department shall review these calculations and work with the applicant to prepare a joint development agreement for utilizing non-potable reuse water to meet non-essential irrigation demand in order to reduce non-essential peak irrigation demand.
9. Any changes to the phasing of the project shall require an update and resubmittal of the water and sewer capacity study and revisions of the conditions may be required.
10. The 12-inch water line connection and main connection to Kedron Rd (**Highlighted in purple**) must be installed and on-line prior to the start of construction of Phases 3 and 4. (This condition is dependent upon water modeling results)



Parks and Recreation Conditions:

1. Greenway trail and associated improvements must be constructed and approved prior to the issuance of vertical construction of Phase 3.
2. Greenway connections to Jerry Erwin Park and to the existing greenway trails located adjacent to the Columns apartments need to be made prior to the issuance of development permits for Phase 4.
3. Trail head at the southern terminus of the proposed greenway trail will be required in accordance with the Bike and Greenway Plan.

Public Works and Street/Traffic Improvements Conditions:

1. Additional ROW dedication may be required to accommodate necessary intersection improvements.
2. Compliance with the USACE Water of the US and endangers species act must be adhered to and coordination with the City Engineer.
3. According to the City's MTP (Proposed Functional Classification), Crossing Boulevard (thru the proposed development) is classified as an arterial from Kedron Road to the tie-in with the existing Crossing Boulevard. Therefore, the design of this facility must meet arterial design criteria as outlined by the UDC and/or AASHTO or TDOT.
4. Prior to the issuance of the first CO of each development phase, a fee-in-lieu equivalent to \$3,500 per signalized intersection must be paid to the city, for re-timing the signalized intersections impacted by the development as identified within the TIS and updated TIS.
5. Kedron Access and full development of crossing Blvd. must occur prior to the issuance of the first CO.
6. All recommended road improvements as identified in the final approved Master TIS must be in place prior to the issuance of the first CO phase 1A or 1B.
7. All construction traffic for all phases must utilize the Kedron ingress and egress. A construction traffic and mitigation plan must be submitted and approved prior to the issuance of a grading permit. If construction activity needs to utilize Crossings Blvd and Main Street, this will require coordination and approval from the Public Works Director and City Engineer.
8. Improvements of the roundabout as identified with in the Master TIS must be improved prior to the start of vertical construction of Phase 2.
9. The applicant must update and obtain approval of the TIS. The TIS should address all recommended improvements necessary to mitigate the development traffic on the City roadway network within the study area as outlined in the TIS. This may include additional lanes and/or intersection improvements, additional storage capacity of turn lanes to address queue spillback beyond existing available storage lengths, intersection control, i.e., traffic signalization, bicycle/pedestrian facilities, traffic signal timings, development of Special Event Management Plan. Prior to BOMA 1st reading of the project. Additional conditions may be made/recommended based on the outcome of the study.

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Action by Board of Mayor and Aldermen: The Board of Mayor and Aldermen will review the preliminary plan upon receipt of the Planning Commission recommendation, and may approve, approve with conditions, deny, table, or defer the preliminary plan. If the Planning Commission has recommended denial, the Board of Mayor and Aldermen must approve with a favorable two-thirds vote.

Conditions: The Planning Commission may recommend, and the Board of Mayor and Aldermen may impose, such conditions and restrictions upon the establishment, location, construction, maintenance, and operation of the planned development as may be deemed necessary for the protection of the public health, safety, and welfare. Such conditions and restrictions must be reflected in the final plan.

Approval Standards: The recommendation of the Planning Commission and decision of the Board of Mayor and Aldermen must make a finding that the following standards for a planned development have generally been met.

- i. The consistency of the proposed planned development with the Comprehensive Plan and any adopted land use policies.
- ii. The proposed planned development meets the purpose of a planned development.
- iii. The proposed planned development will not be injurious to the use and enjoyment of other property in the vicinity.
- iv. The proposed planned development will not impede the normal and orderly development and improvement of surrounding property.
- v. There is provision for adequate utilities and road infrastructure, drainage, off-street parking and loading, pedestrian access, and all other necessary facilities.
- vi. There is provision for adequate vehicular ingress and egress designed to minimize traffic congestion upon public streets.
- vii. The location and arrangement of structures, parking areas, walks, landscape, lighting, and other site design elements, are compatible with the surrounding neighborhood and adjacent land uses

Staff Recommendation: Staff recommends approval of PDP 1284-2022 Spring Hill Crossings with the conditions listed above.

Staff Review of Spring Historic Commission Design Review Recommendations of PDP 1284-2022

#	Historic Commission Statement/Recommendation	Staff Review
1	<p>1. The Spring Hill Historic Commission endorses the following Context Sensitive Solution features incorporated into the Development Plan and Project Pattern Book as currently proposed, including:</p> <ul style="list-style-type: none"> a. Proposed Recreational Area (identified as 17.39 acres in Pattern Book) adjacent to Spring Hill Battlefield, and b. Preservation of flood plain in vicinity of McCormick Creek, and c. 50' viewshed buffer and preservation of historical tree line as represented in Pattern Book, and d. Use of Stake and Rider Fencing as represented in Pattern Book, and e. Proposed Greenway Trail connections to Jerry Erwin Park as represented in Pattern Book, and f Interpretive Signage as represented in Pattern Book 	<p>Staff concurs, the applicant has provided the above feature within the plan</p>
2	<p>2. The Spring Hill Historic Commission recommends a permanent conservation easement, or establishment of deed restrictions, to limit use of the Recreational Area for passive recreation only.</p>	<p>Based on the submitted documents the recreational area is shown to be passive, aside from the connection of a walking trail to the pedestrian network of the development. A conservation easement would ensure restrict development, however so does the PDP process. If the developer elected to develop this area beyond the shown passive uses, it would constitute a modification to the plan and require at minimum Planning Commission approval.</p>
3	<p>3. The Spring Hill Historic Commission recommends the viewshed and landscape buffer be notated specifically on the Development Plan with preservation of historical Tree Lines, identifying distances and features of the buffer as phases are developed, finding that buffers are warranted, and finds the use of such a buffer is consistent with the standards contained within the publication "Saving the Farmstead".</p>	<p>Staff believes the applicant has met the intent of this recommendation/comment.</p> <ul style="list-style-type: none"> • A 50' buffer is shown throughout the Pattern Book and Technical Sheets • On Sheets 61 and 62 of the technical sheets a preservation tree canopy is delineated • A condition has been added requiring future tree surveys.
4	<p>4. The Spring Hill Historic Commission requests the opportunity to provide additional Design Review at each Development Phase to ensure that the physical form of the development within each phase does not negatively impact Spring Hill Battlefield, and that proposed development within each phase adequately preserves the character of Historic Significant Sites located in the vicinity.</p>	<p>Staff believes this recommendation is accomplished by existing regulations within Article 13.1.A.2 of the UDC.</p> <p>“Any site the subject of a zoning application that is located within 300 feet of a property designated historically significant site, as designated by the Board of Mayor and Aldermen or on the National Register of Historic Places, must be reviewed and a recommendation made by the Spring Hill Historic Commission prior to the final decision on the application.”</p>
5	<p>5. The Spring Hill Historic Commission finds that the represented layout of the Residential North section of the Preliminary Plan encroaches on the significant portion of core battlefield, often referred to as "Bradley 's Knoll", an area of significance that the City has demonstrated its desire to preserve. To that extent, the Historic Commission recommends the City, stake holders and property owners explore further opportunities to preserve "Bradley' s Knoll". The Historic Commission recommends further "clustering" of residential units to relocate units identified in the concept Residential North section of the plan to other sections of the plan that would have less impact on "Bradley's Knoll".</p>	<p>Staff recognizes and appreciates this recommendation from the Historic Preservation Commission. This area has been documented within historical survey and studies as an active battlefield. However, this area has not been not designated or recognize by the National Registry of Historic Places/Sites nor has the City of Spring Hill has not adopted a historic district overlay and standards. Requiring a private land owner to cluster a development without regulatory basis would be difficult and would require input from the City Attorney.</p> <p>Additionally, Tennessee is a use by right state. The existing zoning of the project area is C-5 and I-1. A site plan application that meets minimum standards of the UDC could be submitted for either of these properties for review and approval by the Planning Commission. Use by right zoning and minimum standards application could result in a much more intense use of the land and result in a less congruous design. Under the Plan Development process this application and proposed development is going beyond the base standards of the UDC and providing public benefits. A general site plan application does not require a walking trail, it does not require historical signage, it does not require a passive recreational area, it does not require stake and rider fencing, and it does not require a 50' buffer.</p>

Date: December 8, 2022

To: Spring Hill Board of Mayor and Aldermen,
Spring Hill Municipal Planning Commission
c/o Mr. Peter Hughes, Interim Planning Director
PO Box 789
Spring Hill, TN 37174

From: Bill Benedict, Chairman
Alicia Fitts, Co-Chair
City of Spring Hill Historic Commission
c/o City of Spring Hill
PO Box 789
Spring Hill, TN 37174

Re: Design Review Recommendation from the Historic Commission for PDP 1284-2022
Preliminary Plan Development for Spring Hill Crossing “Project Smash”

To whom it may concern:

On December 8, 2022 the Spring Hill Historic Commission reviewed the rezoning request PDP 1284-2022 Preliminary Plan Development for Spring Hill Crossing “Project Smash” for property located at Crossings Blvd, West of Kedron Rd and North of Saturn Parkway.

Background Information

Portions of the subject property are located within 300 feet¹ of the following site that the City of Spring Hill Board of Mayor and Aldermen has designated as being a Historically Significant Site and is a registry on the National Register of Historic Places:

Spring Hill Battlefield Park (*Resolution 10-16*) located at Kedron Rd
(*National Register of Historic Places, Registered 1997; Site # 97001548*)

Title 2, Chapter 4, Section 2-408 of the Municipal Code of the City of Spring Hill states in part (*with emphasis added*):

An application for a subdivision of property, site development plan and/or zoning district amendment shall identify all significant historic and archeological features and structures (as designated by the Board of Mayor and Aldermen) that are located on the affected property or within 300 feet of the boundary of the affected property. Any proposed development plan for the affected tract shall be guided by city zoning and subdivision regulations and the principles and standards contained within the publication, “Saving the Farmstead” (a publication of the Heritage Foundation of Franklin and Williamson County dated December 1996).

¹ Title 2, Chapter 4, Section 2-408 of the Municipal Code of the City of Spring Hill, and Article 13.1, Section A.2 of the Uniform Development Code (UDC) of the City of Spring Hill

The development plan shall be configured in a manner that protects the historic and archeological features on the property to the greatest extent feasible and practical. The plan shall be subject to review and comments by a qualified historic preservation consultant retained by the city and the recommendations of the Spring Hill Historic Commission...

Article 13.1, Section A.2 of the Uniform Development Code (UDC) of the City of Spring Hill states in part (*with emphasis added*):

Any site the subject of a zoning application that is located within 300 feet of a property designated historically significant site, as designated by the Board of Mayor and Aldermen or on the National Register of Historic Places, must be reviewed and a recommendation made by the Spring Hill Historic Commission prior to the final decision on the application.

Additionally, "Saving the Farmstead" (a publication of the Heritage Foundation of Franklin and Williamson County dated December 1996) states in part (*with emphasis added*):

(From Pg 14) Design guidelines are a commonly-used tool for shaping the character of new development... Such design standards typically address building setbacks, heights, architectural forms, porches, building materials, site features, and other design elements...

...a farm field provides no such clear parameters, and variables such as topography, existing mature vegetation, the development program, and the design and significance of the historic buildings preclude the use of prescriptive standards.

*(From Pg 17) Guidelines for Buffering. The two key elements which comprise the buffering approach to deal with incompatible development are the **buffer zone** and **peripheral edge treatment**. **Clustering** is another effective tool to achieve buffering.*

The comprehensive plan of the City of Spring Hill, "Spring Hill Rising: 2040"², provides goals as Policies for Achieving Our Community Vision, which state in part:

Goal Four: We will protect and promote our natural and cultural resources.

Preserve historic and cultural resources that help define the community's sense of place and rich history, and ensure that the integrity and access to natural resources are protected.

Additional Background Information – Spring Hill Battlefield

The battle of Spring Hill on November 29, 1864 was one of the most significant of the American Civil War. The battle, part of the Franklin-Nashville Campaign in 1864, pitted Union Major

² "Spring Hill Rising: 2040"; Resolution 15-113, adopted by the City of Spring Hill Board of Mayor and Aldermen November 16, 2015

General John M. Schofield commanding the IV and XXIII Army Corps against the Confederate General John Bell Hood commanding the Army of Tennessee. Despite the historical significance of the Battle of Spring Hill, very little of the battlefield is protected.

A Summary of the Battle of Spring Hill³

After capturing Atlanta in September of 1864, Major General William T. Sherman began planning his march to the sea toward Savannah. Sherman sent Major General George Thomas to Nashville to establish a headquarters and wait for reinforcements from Major Generals David Stanley and John M. Schofield, who were commanding troops in northern Alabama and southern Tennessee. At the same time, Confederate Lieutenant General John Bell Hood who had recently been defeated by Sherman at Atlanta, crossed into Tennessee with over 30,000 infantry and 6,000 cavalry under the command of Nathan Bedford Forrest. With his supply and numbers, Hood was confident he could place his men in between Major General Schofield's Union troops in Pulaski and Union troops in Nashville under the command of Thomas.

In Nashville, Thomas monitored Hood's advance and sent orders to Schofield in Pulaski to move to Columbia before Hood. Schofield was successful in reaching Columbia before Hood and erected fortifications shortly before an initial wave of Confederate soldiers arrived. Hood conducted a series of skirmishes against Federal troops in Columbia. Thomas then instructed Schofield to retreat north to Franklin in hopes of creating a defensive line at the Harpeth River. Intending to flank Schofield out of his fortifications, Hood ordered Forrest's cavalry to clear the way for a move across the Duck River and to Spring Hill.

After crossing the Duck River at Huey's Mill, Forrest's cavalry drove the Union cavalry under the command of Major General James Wilson north towards Franklin. Forrest's success paved a clear path for the cavalry to reach Spring Hill. On the morning of November 29, Hood gave orders to Major General Benjamin F. Cheatham and Lieutenant General Alexander Stewart's corps to follow Forrest's cavalry toward the north at Spring Hill, leaving the bulk of the army's artillery and Lieutenant General Stephen D. Lee's corps at Columbia as a diversion for Schofield and his men.

Wilson sent correspondence to Schofield of the Confederate movements at the Duck River, prompting Schofield to telegraph Thomas to hold the line and protect the Harpeth. Schofield then ordered Major General David S. Stanley to move north towards the Columbia-Franklin Pike with reserve artillery and corps and to hold the crossroads town of Spring Hill. After arriving at Spring Hill, Stanley and his men created a strong defensive position.

³ "A Summary of the Battle of Spring Hill" Source: Kimley-Horn and Associates, Inc., Volkert, Inc., Thomason and Associates. Crossings Circle South Transportation Study "Historic Context of the Battle of Spring Hill", May 2015

At the time of Stanley's move to Spring Hill, Forrest's cavalry advanced towards the town from the east. By this time Federal reinforcements had arrived in Spring Hill with brigades under the command of Emerson Opdycke, John Q. Lane, and Luther Bradley. Opdycke's brigade positioned themselves on a ridge to the north of town, Lane's men were positioned east of town, and Bradley's brigade assumed position on a bluff south of town. These brigade positions created a semicircular line along the highest points at Spring Hill. The 103rd Ohio Infantry positioned themselves across the Columbia-Franklin Pike with eighteen artillery pieces to the south of town.

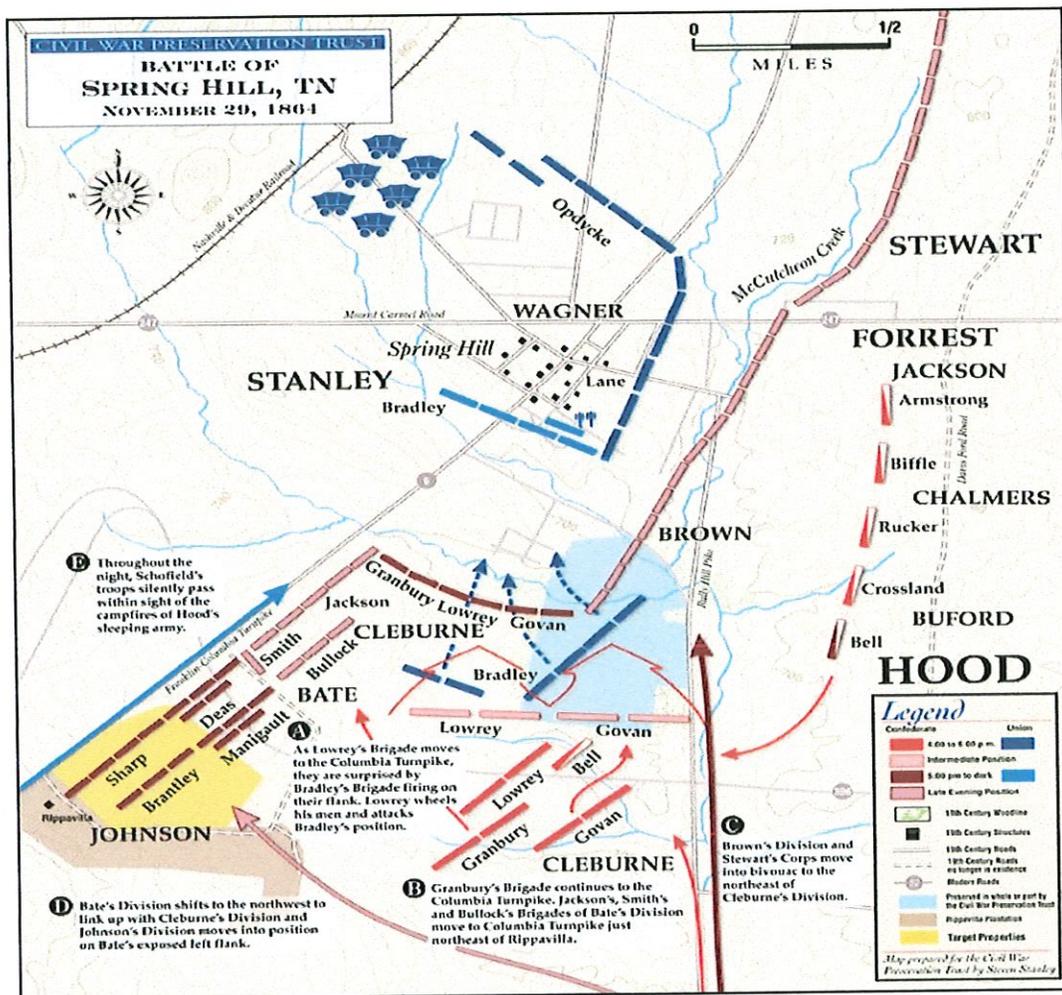
On the night of November 28, 1864, Hood's Army of Tennessee marched toward Spring Hill to get astride Schofield's Union army's life line. Cavalry skirmishing between Brig. Gen. James H. Wilson's Union cavalry and Maj. Gen. Nathan Bedford Forrest's Confederate troopers continued throughout the day as the Confederates advanced. On November 29, Hood's infantry crossed the Duck River and converged on Spring Hill. In the meantime, Schofield reinforced the troops holding the crossroads at Spring Hill. In late afternoon, the Federals repulsed a piecemeal Confederate infantry attack. During the night, the rest of Schofield's command passed from Columbia through Spring Hill to Franklin. This was considered Hood's best chance to isolate and defeat the Union army. The next day, Hood pursued Schofield and attacked his fortifications in the Battle of Franklin, resulting in severe Confederate casualties.

Around noon, Forrest's men, low on ammunition and tired from nearly two days of fighting, encountered Colonel Lane's front to the east of Spring Hill. As the Confederate soldiers met the Union front, the armies began to exchange fire. Forrest's men attacked but were repulsed by the Union forces. As Forrest pulled back his men, Major General Patrick Cleburne's Division and other troops commanded by Major General Benjamin Cheatham approached Spring Hill from the south. Hood also arrived and gave orders for Cleburne to advance his men and engage the Union forces.

At this time Cleburne's Division began its attack with a right flank brigade under the command of Brigadier General Mark Lowrey, a center brigade under the command of Brigadier General Daniel C. Govan, and left brigade commanded by Brigadier general Hiram Granbury. Meanwhile, under the instructions of Cheatham, Major General William Bate's Division began to extend in a line to reinforce Cleburne's men. Without informing Cheatham, Hood ordered Bate to advance towards the west, place his men across the Columbia Pike and block the remainder of Schofield's army as they retreated north from Columbia. As Bate's men moved toward the pike, Hood rode south to the farm of Absalom Thompson, where he would remain the rest of the day. Having never crossed paths with Hood, Cheatham continued to give orders that reflected Hood's plan from earlier in the day.

As daylight faded in the late afternoon the Confederate attacks became confused and disjointed. Cheatham ordered Bate's Division to support Cleburne's attack. Cheatham also ordered Major General John C. Brown's Division to attack as Cleburne's men moved forward; however, due to miscommunication between Cheatham and Brown, Brown's men never advanced.

Advancing at 4:00 P.M., Cleburne and his men crossed the Rally Hill Pike into an open field where they were fired upon in flank by Bradley's brigade. Lowrey's men fell back in confusion and Lowrey requested Cleburne for help. Cleburne turned all his men, as well as Govan's and Granbury's men, back toward Lowrey overwhelming the 42nd Illinois and 64th Ohio. Within ten minutes the fighting was over and Bradley's men retreated to the north towards Spring Hill.



Spring Hill Battlefield – Afternoon of November 29, 1864
 Source: Steven Stanley, American Battlefield Trust

Cleburne's men came to a halt after encountering additional Union forces as well as an artillery barrage from the Union cannon massed on the outskirts of town. Stanley then deployed Opdycke and Lane's men positioned to the north and east to hold off any additional Confederate advance. With sunset falling and confusing orders from Cheatham and Hood, the Confederate divisions continued to move blindly through the dark against Union forces. Oblivious to what had transpired and confident that his plan has succeeded, Hood rested for the night. The Confederate soldiers under Cheatham and Stewart made camp as they awaited further orders.

During the night, Schofield's army marched north on the Columbia Pike past the Confederate camps. Union movements along the road caused concern and several warnings were sent to Hood's headquarters of Schofield's retreat. Hood sent orders to Forrest to block the Columbia Pike north of Spring Hill and was confident that the Union army was halted and that fighting would resume in the morning.

By the morning of November 30, Schofield had successfully moved his entire Union force from Spring Hill north to Franklin. Angered at missing the opportunity to defeat or capture Schofield's army, Hood placed much of the blame on his officers for the miscommunication and lack of organization. Hood then followed Schofield's army to Franklin where he launched an attack in the late afternoon. The Battle of Franklin resulted in over 7,500 Confederate casualties and Schofield's army held off Hood's attack until the evening when the Union forces retreated to Nashville. Two weeks later the Confederate Army of Tennessee was defeated at the Battle of Nashville ending Hood's Middle Tennessee Campaign.

The Civil War Sites Advisory Commission Report on the Nation's Civil War Battlefields (published in 1993) ranked the Spring Hill Battlefield as Preservation Priority I.3, Class B site (3rd out of 13 in priority classes). Class B sites have Major Military Importance, as noted in the CWSAC Report (1993), "An engagement of magnitude involving field armies or divisions of the armies in which a commander achieved an important strategic objective within the context of an ongoing campaign offensive. Major battles had a direct, observable impact on the direction, duration, conduct, or outcome of the campaign".

In 1995, at the request of a "Spring Hill Battlefield Preservation Council", a limited archaeological field survey of portions of Spring Hill Battlefield was completed by consultants Garrow & Associates of Atlanta, GA. Of particular note, the location of an area of core battlefield often referenced as "Bradley's Knoll" was identified. Findings from the survey, state in part:

"As a result of the 1995 archaeological study, the position of General Luther P. Bradley's Federal infantry brigade was identified. The location of an antebellum house situated near Bradley's infantry line was tentatively identified by archeological remains. The identification of these two battlefield landmarks greatly aids in establishing definitive boundaries for the core battlefield area.

*Further study and the acquisition of the property containing Bradley's Federal infantry position are recommended."*⁴

There have been several efforts, some successful, to acquire and preserve portions of Spring Hill Battlefield. In 1996, the Association for the Preservation of Civil War Sites (now, the American Battlefield Trust) acquired approximately 110 acres including a portion of the core of Spring Hill Battlefield, often referenced as "Weaver Hill". In 2004, the Tennessee Wars Commission, applied for funding through a T-DOT Enhancement Grant for a Driving Tour of Hoods Campaign / Civil War Driving Trail, a portion of which exists today in Spring Hill. In 2007, The Civil War Preservation Trust (now the American Battlefield Trust), through the Tennessee Historical Commission, applied for a T-DOT Enhancement Grant that would have funded acquisition of additional battlefield and enhancement to the interpretation of the existing Spring Hill Battlefield site. That application was supported by the City of Spring Hill Board of Mayor and Aldermen.⁵

In 2014, recognizing there would likely be pressure from development and an increasing need for additional transportation connectivity in the area, while also recognizing that there was a need for sensitivity to the Spring Hill Battlefield, the Spring Hill Board of Mayor and Aldermen commissioned a "Transportation Study for Crossings Circle South" completed by a team including Kimley Horn and Associates, Inc., Volkert, Inc. and Thomason and Associates.

During the course of the study, it was identified that although approximately 110 acres had been preserved (the 90-acre parcel, "Weaver Hill", that is owned by the American Battlefield Trust, and a 20-acre parcel, "Jerry Erwin Park", that is owned by Maury County, Tennessee), more significant land exists to the west, "Bradley's Knoll".

As a result of the study, a preferred alignment scenario (referred to as Alternative B) was developed for the future roadway, and "Context Sensitive Solutions should be incorporated into the future roadway to promote the Battle of Spring Hill and the historical significance of the City War."⁶ Context sensitive solutions proposed included:

1. *Preserve the tree line buffer.*
2. *Use natural colors for the roadway, bicycle lanes, and sidewalks.*
3. *Use a stake-and-rider fence, since this particular type of fence was previously on property where the Battle of Spring Hill occurred.*
4. *Use benches that incorporate natural elements.*
5. *Use decorative features that communicate the historical events that occurred, and can provide educational opportunities for the community.*
6. *Use street lighting with a lower height to reduce light pollution from the perspective of the Battlefield.*

⁴ "They Was in There Sure Enough: A Limited Archaeological Assessment of the 1864 Civil War Battlefield at Spring Hill, Tennessee" Source: Garrow & Associates, Inc., July 1995

⁵ Resolution 07-61, "A Resolution in Support of the Tennessee Department of Transportation Enhancement Program Grant Request Title 'Preservation and Interpretation of the Battle of Spring Hill' Applied for by the Tennessee Historical Commission"

⁶ "Crossings Circle Transportation Study" Source: Kimley-Horn and Associates, Inc., Volkert, Inc., Thomason and Associates, May 2015

Recognizing the need to preserve and protect the integrity of Spring Hill Battlefield, while also taking into consideration the rights of private land owners, accommodating future transportation needs and the economic needs of the City, the Board of Mayor and Aldermen of the City of Spring Hill created a Spring Hill Battlefield Task Force in 2015 with a charge to assist the Board in exploring the opportunities that may exist and actions that may be taken to preserve Spring Hill Battlefield.⁷

The State Legislature passed the Tennessee Civil War or War Between the States Site Preservation Act of 2013 which provided funding assistance for acquisition of Civil War Battlefields through a Grant administered by the Tennessee Wars Commission of the Tennessee Historic Commission. In 2015, the Battlefield Task Force recommended, and the Board of Mayor and Aldermen approved authorization for the City of Spring Hill to pursue this grant and an intent to fund for the acquisition and preservation of additional Spring Hill Battlefield in the vicinity of Bradley's Knoll.⁸



Crossings Circle “Alternative B” Alignment, and the areas identified for potential acquisition, including “Bradley’s Knoll”, under the “2015 Tennessee City War or War Between the States Site Preservation Fund Grant Request for Spring Hill Battlefield” in Yellow

⁷ Resolution 15-10, “A Resolution to Establish a Spring Hill Battlefield Task Force”

⁸ Resolution 07-61, “A Resolution of Support and an Intent to Fund the Tennessee Civil War or War Between the States Site Preservation Fund Grant Request for Spring Hill Battlefield.”

Design Review of PDP 1284-2022 Preliminary Plan Development for Spring Hill Crossing “Project Smash” Summary of Findings

In accordance with “Spring Hill Rising 2040”, the Municipal Code of the City of Spring Hill, and the Uniform Development Code, the Historic Commission provides the following Design Review Comments and Recommendations for the Preliminary Development Plan of the Planned Development. The findings and recommendations of the Historic Commission are as follows:

1. The Spring Hill Historic Commission endorses the following Context Sensitive Solution features incorporated into the Development Plan and Project Pattern Book as currently proposed, including:
 - a. Proposed Recreational Area (identified as 17.39 acres in Pattern Book) adjacent to Spring Hill Battlefield, and
 - b. Preservation of flood plain in vicinity of McCormick Creek, and
 - c. 50’ viewshed buffer and preservation of historical tree line as represented in Pattern Book, and
 - d. Use of Stake and Rider Fencing as represented in Pattern Book, and
 - e. Proposed Greenway Trail connections to Jerry Erwin Park as represented in Pattern Book, and
 - f. Interpretive Signage as represented in Pattern Book
2. The Spring Hill Historic Commission recommends a permanent conservation easement, or establishment of deed restrictions, to limit use of the Recreational Area for passive recreation only.
3. The Spring Hill Historic Commission recommends the viewshed and landscape buffer be notated specifically on the Development Plan with preservation of historical Tree Lines, identifying distances and features of the buffer as phases are developed, finding that buffers are warranted, and finds the use of such a buffer is consistent with the standards contained within the publication “Saving the Farmstead”.
4. The Spring Hill Historic Commission requests the opportunity to provide additional Design Review at each Development Phase to ensure that the physical form of the development within each phase does not negatively impact Spring Hill Battlefield, and that proposed development within each phase adequately preserves the character of Historic Significant Sites located in the vicinity.
5. The Spring Hill Historic Commission finds that the represented layout of the Residential North section of the Preliminary Plan encroaches on the significant portion of core battlefield, often referred to as “Bradley’s Knoll”, an area of significance that the City has demonstrated its desire to preserve. To that extent, the Historic Commission recommends the City, stake holders and property owners explore further opportunities to preserve “Bradley’s Knoll”. The Historic Commission recommends further “clustering” of residential units to relocate units identified in the concept Residential North section of the plan to other sections of the plan that would have less impact on “Bradley’s Knoll”.

In regards to direct impact of recognized Historic Significant Sites in the vicinity, the Spring Hill Historic Commission finds with adjustments to the Residential North section of the plan as previously noted to preserve additional “Bradley’s Knoll”, incorporation of the Context Sensitive Solutions as identified in the 2015 Crossings Circle South Transportation Study as proposed, incorporation of viewshed and buffering as proposed, and preservation of Recreation Area with

limited passive uses, the proposed Preliminary Plan for the Planned Development would not negatively impact Historic Significant Sites located in the vicinity.

Additional Recommendation of Development of a History Plan

Given the significance of this historic site, the Spring Hill Historic Commission further recommends that a History Plan for the site be completed outlining a clear and formal policy, including supervision and treatment of historic artifacts discovered, treatment of potential human remains discovered, and what entity shall be charged with preserving, maintaining and holding of these items into perpetuity. The History Plan should be inclusive of Native Americans who likely first resided near the water sources on this property and McCormick and McCutcheon Creeks.

Members of the Historic Commission present on December 8, 2022 included Co-Chairs Bill Benedict and Alicia Fitts, Alderman William Pomeroy, Planning Commission Chairman Jonathan Duda, and David Huebner. Commissioner Wanda Guy was absent. ***The Commission voted 5 For, with 0 Against on these review findings and recommendations.***

Please do not hesitate to contact us at with any questions.

Sincerely,


Bill Benedict, Chairman
City of Spring Hill Historic Commission


Alicia Fitts, Co-Chair
City of Spring Hill Historic Commission

Cc: Spring Hill Board of Mayor and Aldermen
Spring Hill Municipal Planning Commission
Pam Caskie, City of Spring Hill City Administrator
Peter Hughes, City of Spring Hill Interim Planning Director



SPRING HILL CROSSINGS

PLANNED DEVELOPMENT - PRELIMINARY PLAN

Pattern Book

DEVELOPMENT TEAM:

DEVELOPER

SOUTHSTAR, LLC
CONTACT: GLENN MCGHEHEE
1620 WESTGATE CIRCLE SUITE 170
BRENTWOOD, TENNESSEE 37027



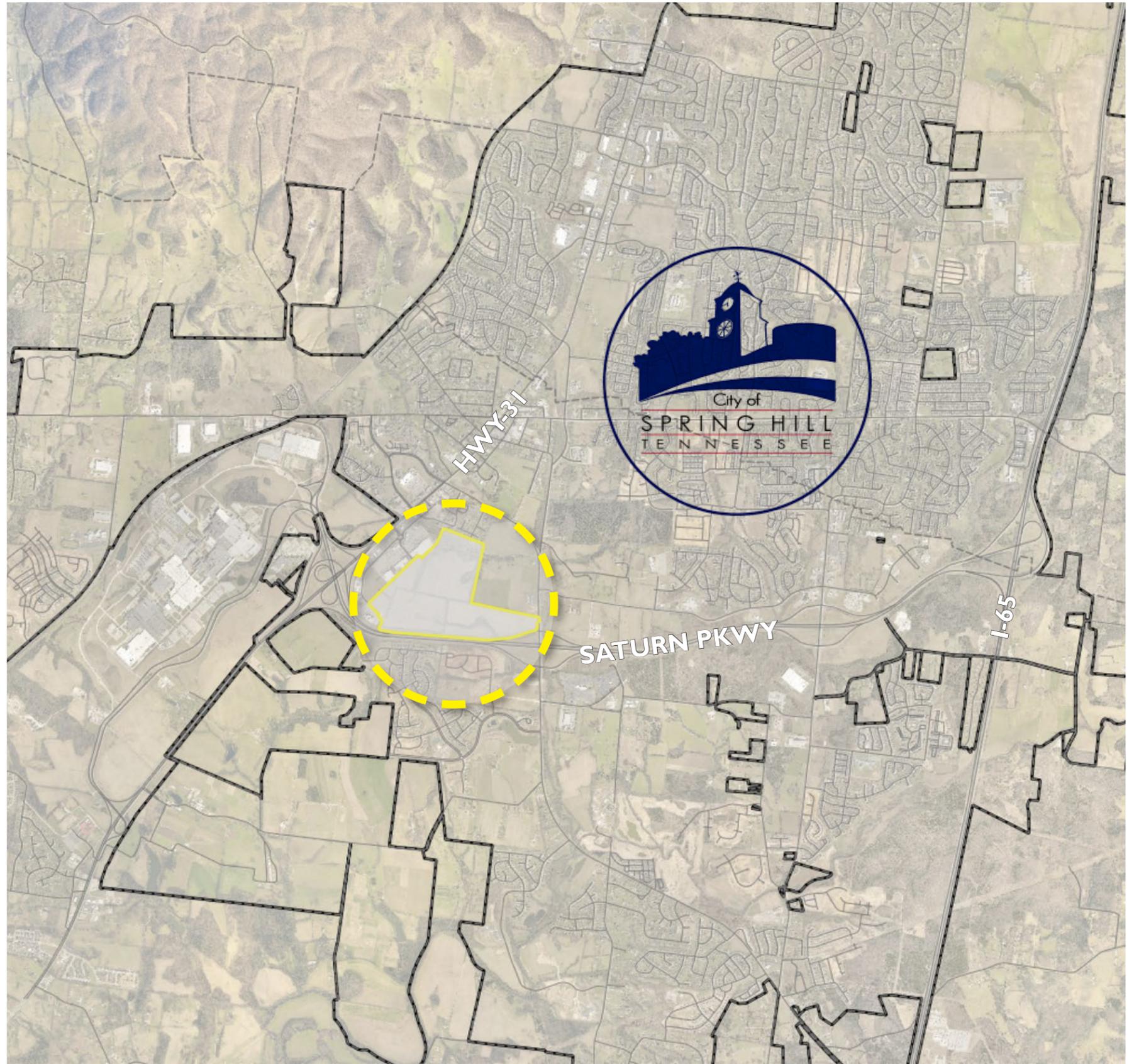
ENGINEER

SEC, INC
CONTACT: MATT TAYLOR
850 MIDDLE TN BLVD
MURFREESBORO, TN 37129



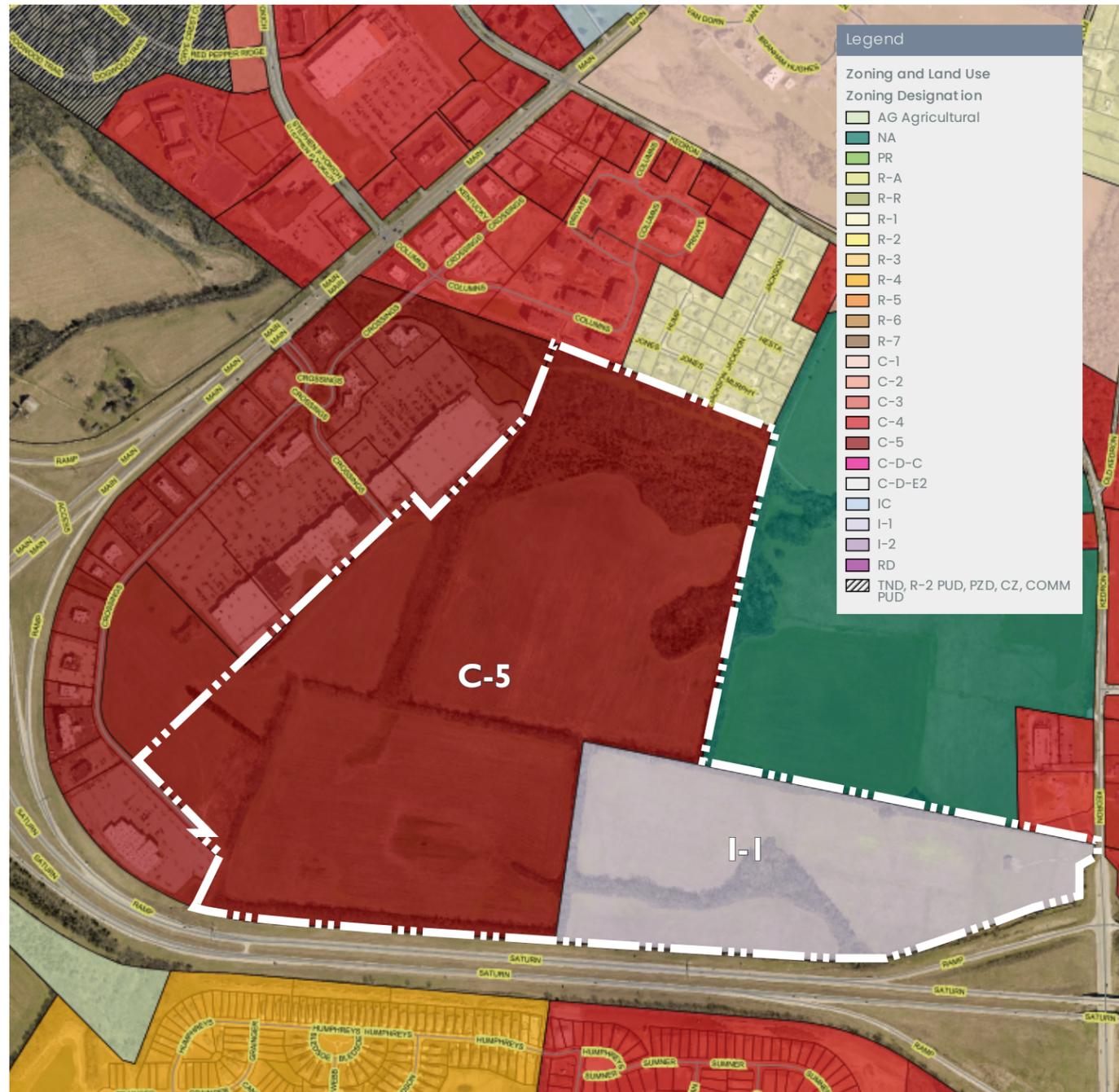
LANDSCAPE ARCHITECT

GAMBLE DESIGN COLLABORATIVE
CONTACT: GREG GAMBLE
3020 STANSBERRY LANE, SUITE 201
FRANKLIN, TN 37069



Updated:

Preliminary Plan Submittal: 10/31/2022

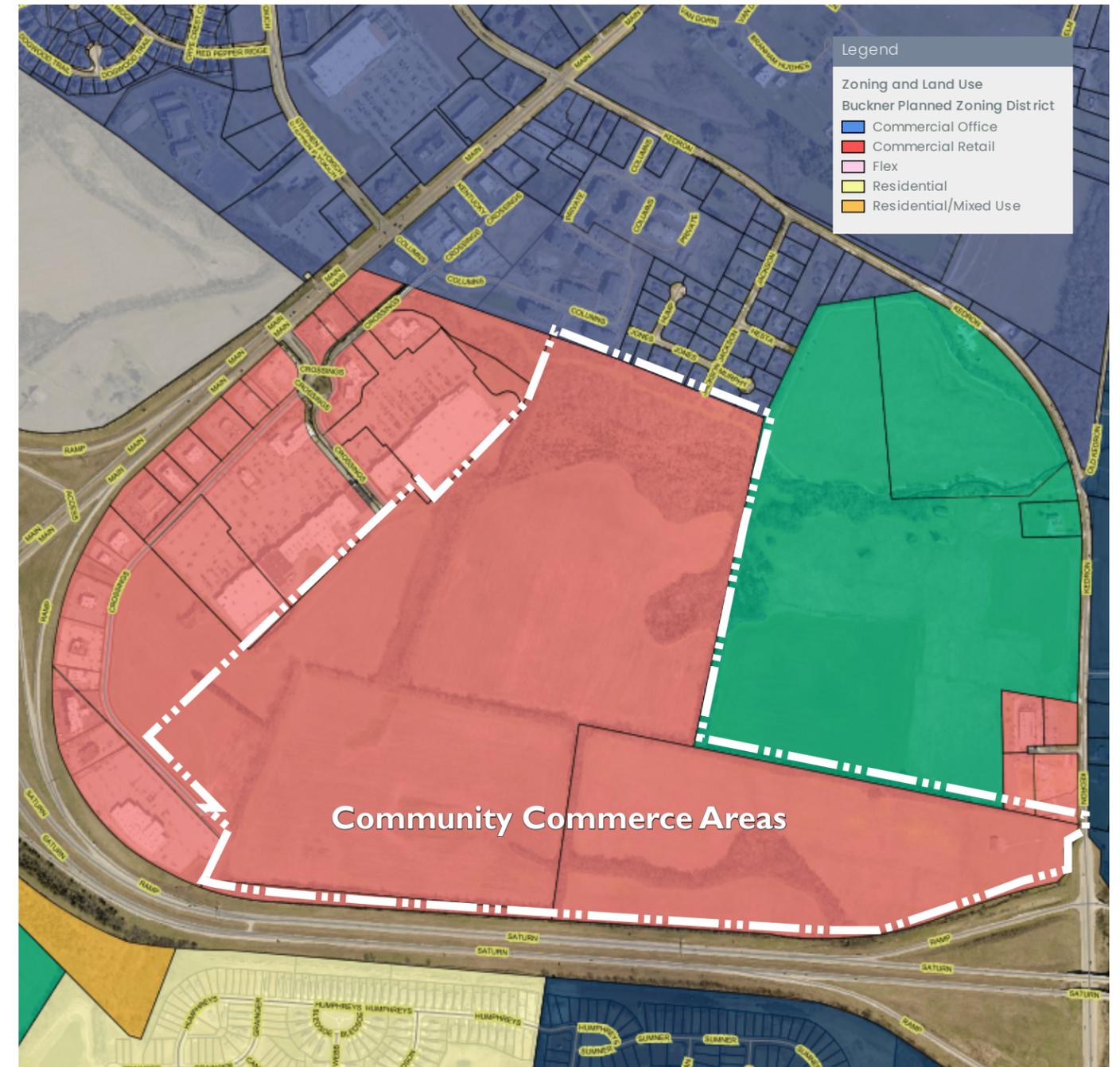


C-5 Regional Commercial District

The C-5 District is intended for areas with a variety of retail, personal service, entertainment, and offices that serve both the local and regional markets within larger-scale, auto-oriented developments that generate a sizeable amount of traffic and a significant demand for off-street parking.

I-1 Light Industrial District

The I-1 District is intended to provide for a wide variety of light manufacturing, fabricating, processing, testing and scientific laboratories, wholesale distributing, and warehousing uses. Light industrial uses are enclosed, low-intensity, non-nuisance light fabrication and assembly-type manufacturing, as well as office and research and development facilities with little to no outside impacts.



Community Commerce Areas

Community Commerce Areas provide regional commercial services for Spring Hill and our neighboring communities. The general development pattern is centered at, or in close proximity to, the major intersection with single use commercial, office, transportation, professional, and entertainment services. This is a primarily automobile oriented development form. Buildings have shallow to moderate setbacks and use landscaping to frame the street and screen large parking areas needed to serve intense, regional uses.

Primary future land uses include professional and regional offices, eating places, large-scale retail, municipal services, community centers, automobile related services (not to include wrecking, towing, and restoration), transportation hubs, and large-scale entertainment. Secondary land uses include multi-family development.



PRELIMINARY PLAN ENTITLEMENT

Current Zoning: C-5 & I-1

New Base Zoning: C-5

Site Area: 213.1 AC

Density: Shall not exceed 10 DUA (For entire development)

Entitlement Summary

136,000	SF	USTA REGIONAL HQ / TENNIS CENTER
600,000	SF	COMMERCIAL
1,000	Keys	HOTEL
2,130	Residences	TOTAL RESIDENTIAL

Residential | North

Mixed - Use | West

USTA & Mixed - Use Center

Mixed - Use | East

Benefits to the City:

Community Benefits - The proposed Spring Hill Crossings Development will create a variety of benefits for the City of Spring Hill:

- This development will create a regional destination and a community center focused on Tennis and focused on Health and Wellness.
- Spring Hill Crossings will also celebrate and preserve the adjacent Spring Hill Battlefield.
- The Development will create housing across a variety of price points and ownership types.

Meet the Goals of Spring Hill Rising 2040 – The Spring Hill Rising 2040 Land Use Plan describes a number of primary issues that the proposed Spring Hill Crossings development provides for the City of Spring Hill:

- Spring Hill Rising 2040 seeks to maximize opportunities for economic generation on the Saturn Parkway corridor and this development achieves this goal.
- The explosive growth of the City of Spring Hill requires a range of Housing Options. Spring Hill Crossings provides a full range of prices where young professionals, families, empty nesters, and active seniors will have the opportunity to all live and age in the same community.
- Spring Hill Crossings has a variety of ownership types from apartment living, to duplexes, to condominium, to townhome, to single family detached homes.
- Spring Hill Rising 2040 seeks to preserve cultural and natural history. Spring Hill Crossings also seeks to celebrate the nearby historic Spring Hill Battlefield. Through the implementation of fences, walks, and open space buffers, the adjacent Park will be more identifiable and more usable through Spring Hill Crossings treatment of the shared boundary with the Park.
- This development also addresses the Spring Hill 2040 goals to create employment diversity, to create new business opportunities, to create new industry opportunities, and to increase tourism opportunities.
- Spring Hill Crossings creates and expands a mixed-use activity center along a major corridor and provides higher density residential development in a new activity center.

Fiscal Benefit - By rezoning this prominent gateway into Spring Hill the proposed development will generate significant fiscal benefits:

- **Impact Fees:** Impact fees are projected to be approximately \$8 million dollars
- **Sport-Tourism:** In addition to adding the USTA brand to the growing Sports Tourism draw to Spring Hill, a regional USTA facility is projected to draw 8,000 visitors per week and over 11,000 visitors per week during tournament weeks. Assuming 20 tournament weeks a year, this translates to over 450,000 USTA visitors per year. Impact studies for similar facilities have projected a similar program to generate between \$10 and \$20 million expenditures by players and guests.
- **Tourism:** 600 Hotel Rooms (at an assumed 70% occupancy rate) translates to 420 nightly hotel stays and over 150,000 annual hotel stays.
- **Jobs:** With over 535,000 sf of office, retail, and commercial use, at full build out Spring Hill Crossings could provide over 2,600 jobs.
- **Open Space:** Addition of an open space set aside that includes a multi-use trail that connects and extends existing trail system in the area. Also including signage along trail system to speak to history of the site.

Shared Parking Analysis:

Weekday Peak Demand

Land Use	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Total
Retail		74,000 SF		6,000 SF	10,000 SF	90,000 SF
Restaurant		24,500 SF				24,500 SF
Office		24,500 SF			120,000 SF	144,500 SF
USTA		136,000 SF				136,000 SF
Hotel		600 keys				600 keys
Multifamily	584 units	313 units	210 units	438 units		1,545 units
Single-Family			55 units			55 units
Self-Storage	64,000 SF					64,000 SF
Peak Weekday Demand	731 spaces	1,152 spaces	370 spaces	548 spaces	387 spaces	3,188 spaces

Weekend Peak Demand

Land Use	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Total
Retail		74,000 SF		6,000 SF	10,000 SF	90,000 SF
Restaurant		24,500 SF				24,500 SF
Office		24,500 SF			120,000 SF	144,500 SF
USTA		136,000 SF				136,000 SF
Hotel		600 keys				600 keys
Multifamily	584 units	313 units	210 units	438 units		1,545 units
Single-Family			55 units			55 units
Self-Storage	64,000 SF					64,000 SF
Peak Weekday Demand	765 spaces	1,472 spaces	385 spaces	577 spaces	8 spaces demand 387 spaces provided*	3,207 spaces demand 3,586 spaces provided*

*Peak demand occurs during the weekend period. Provide additional parking spaces in Zone 5 to account for peak weekday demand when office is present.

Shared Parking Standards:

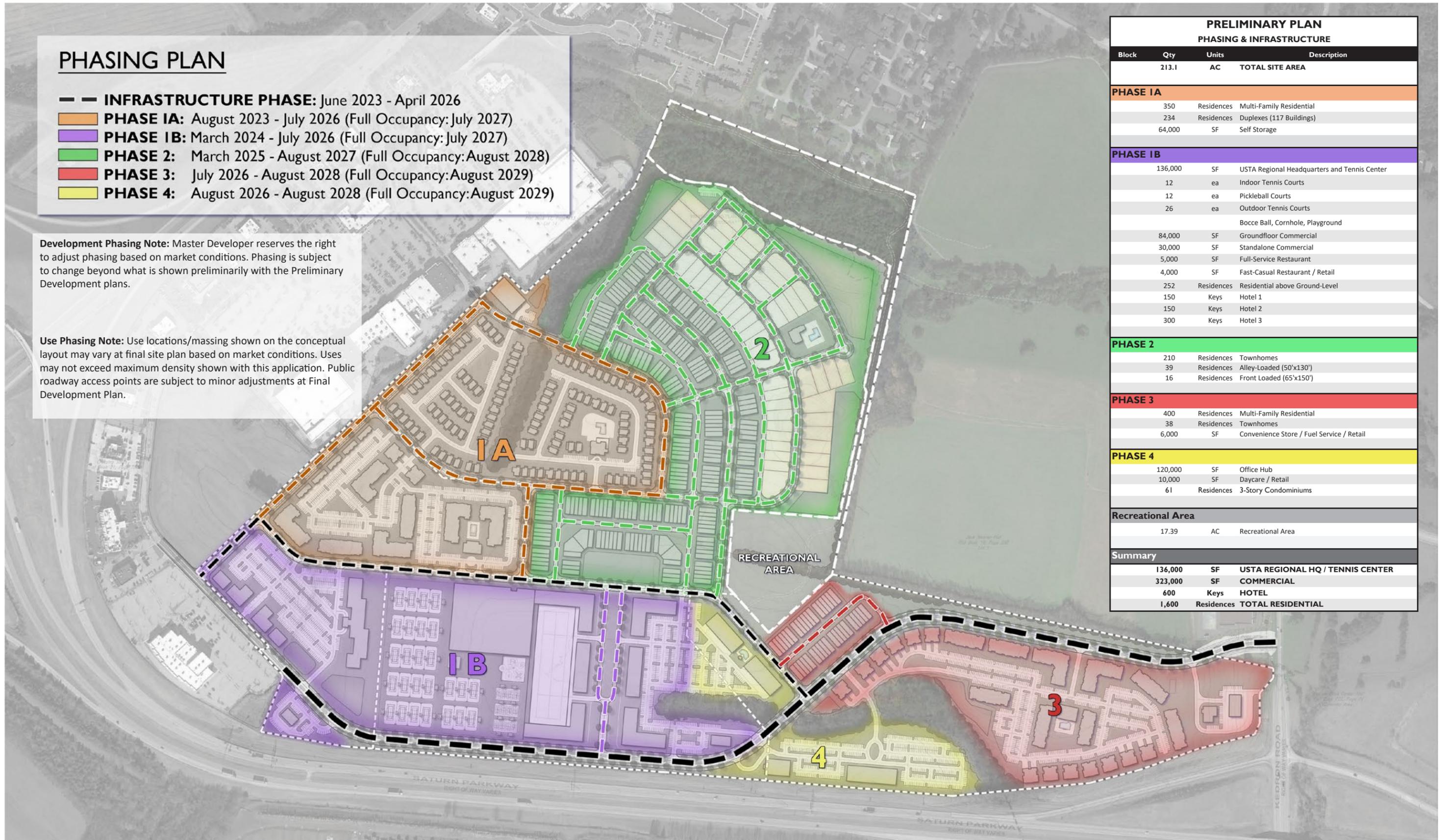
Land Use	Spring Hill	ULI		ITE	
	Base Ratio	Weekday Base Ratio	Weekend Base Ratio	Weekday Base Ratio	Weekend Base Ratio
Retail	5 spaces / 1000 SF + 1 space / 2 employees	3.6 spaces / 1000 SF	4.0 spaces / 1000 SF		
Restaurant	1 space / 100 SF (1 space / 150 SF)* *with outdoor seating area	14.4 spaces / 1000 SF	14.7 spaces / 1000 SF		
Office	1 space / employee + 1 space / 300 SF	3.25 spaces / 1000 SF	--		
Hotel	1 space / room + 1 space / 3 employees	1.15 spaces / room	1.15 spaces / room		
Single-Family	2 spaces / unit	N/A Spring Hill ratio used	N/A Spring Hill ratio used		
Multifamily	2 spaces / unit	--	--		
Multifamily-Studio	--	0.95 spaces / unit	1.0 spaces / unit		
Multifamily-1 BR	--	1.00 spaces / unit	1.05 spaces / unit		
Multifamily-2 BR	--	1.75 spaces / unit	1.8 spaces / unit		
Multifamily-3 BR	--	2.6 spaces / unit	2.65 spaces / unit		
Racquet/Tennis Club	--	N/A ITE used	N/A ITE used	1.34 spaces / 1000 SF (Ratio includes 50% increase from ITE standard to account for USTA employees present during the week)	4.81 spaces / 1000 SF
Mini Warehouse (Self-Storage)	1 space / 300 SF office 1 space / 20,000 SF warehouse	N/A ITE used	N/A ITE used	0.1 spaces / 1000 SF	0.09 spaces / 1000 SF

PHASING PLAN

- INFRASTRUCTURE PHASE:** June 2023 - April 2026
- PHASE IA:** August 2023 - July 2026 (Full Occupancy: July 2027)
- PHASE IB:** March 2024 - July 2026 (Full Occupancy: July 2027)
- PHASE 2:** March 2025 - August 2027 (Full Occupancy: August 2028)
- PHASE 3:** July 2026 - August 2028 (Full Occupancy: August 2029)
- PHASE 4:** August 2026 - August 2028 (Full Occupancy: August 2029)

Development Phasing Note: Master Developer reserves the right to adjust phasing based on market conditions. Phasing is subject to change beyond what is shown preliminarily with the Preliminary Development plans.

Use Phasing Note: Use locations/massing shown on the conceptual layout may vary at final site plan based on market conditions. Uses may not exceed maximum density shown with this application. Public roadway access points are subject to minor adjustments at Final Development Plan.



PRELIMINARY PLAN PHASING & INFRASTRUCTURE			
Block	Qty	Units	Description
		AC	TOTAL SITE AREA
PHASE IA			
	350	Residences	Multi-Family Residential
	234	Residences	Duplexes (117 Buildings)
	64,000	SF	Self Storage
PHASE IB			
	136,000	SF	USTA Regional Headquarters and Tennis Center
	12	ea	Indoor Tennis Courts
	12	ea	Pickleball Courts
	26	ea	Outdoor Tennis Courts
			Bocce Ball, Cornhole, Playground
	84,000	SF	Groundfloor Commercial
	30,000	SF	Standalone Commercial
	5,000	SF	Full-Service Restaurant
	4,000	SF	Fast-Casual Restaurant / Retail
	252	Residences	Residential above Ground-Level
	150	Keys	Hotel 1
	150	Keys	Hotel 2
	300	Keys	Hotel 3
PHASE 2			
	210	Residences	Townhomes
	39	Residences	Alley-Loaded (50'x130')
	16	Residences	Front Loaded (65'x150')
PHASE 3			
	400	Residences	Multi-Family Residential
	38	Residences	Townhomes
	6,000	SF	Convenience Store / Fuel Service / Retail
PHASE 4			
	120,000	SF	Office Hub
	10,000	SF	Daycare / Retail
	61	Residences	3-Story Condominiums
Recreational Area			
	17.39	AC	Recreational Area
Summary			
	136,000	SF	USTA REGIONAL HQ / TENNIS CENTER
	323,000	SF	COMMERCIAL
	600	Keys	HOTEL
	1,600	Residences	TOTAL RESIDENTIAL

Spring Hill Crossings Permitted Uses

Commercial Uses - Primary

Amusement Facility – Indoor
 Amusement Facility – Outdoor
 Animal Care Facility – Small Animal
 Art Gallery
 Arts Studio
 Bar
 Broadcasting Facility TV/Radio - No Antennas
 Car Wash
 Day Care Center
 Drive-Through Facility
 Financial Institution
 Gas Station
 Healthcare Facility/Institution
 Hotel
 Live Entertainment - Secondary Use
 Live Performance Venue
 Medical/Dental Office
 Micro-Brewery/Distillery/Winery
 Office
 Outdoor Dining
 Parking Lot (Principal Use)
 Parking Structure (Principal Use)
 Personal Service Establishment
 Public Park
 Reception Facility
 Restaurant
 Retail Goods Establishment
 Retail Liquor Store
 Specialty Food Service
 Winery

Residential Uses - Primary

Community Center
 Community Garden
 Conservation Area
 Dwelling – Above the Ground Floor
 Dwelling – Accessory Dwelling Unit: (900sf or Less in GFA)
 Dwelling – Accessory Dwelling Unit: (901sf or More in GFA)
 Dwelling - Multi-Family
 Dwelling – Townhouse
 Dwelling - Single-Family
 Dwelling - Two-Family

Temporary Uses

Farmers' Market
 Mobile Food Sales
 Real Estate Project Sales Office/Model Unit
 Temporary Outdoor Entertainment
 Temporary Outdoor Sales

Special Considerations

Places of Worship - Places of worship allowed as an accessory use in buildings that have another primary function and as outdoor special event

Special Events - Special events, as defined by the city of spring hill are permitted on the plaza and at the boulevard areas. For Spring Hill Crossings, Temporary Outdoor Entertainment and Temporary Outdoor Sales may include Live Music events, Farmers Markets, Food Trucks, Art and Craft Vendors/Fairs, and Worship Services. The inclusion of these permitted uses does not circumvent any event permits that may be required by code.

Self-Storage Facility (Enclosed) - Allowed when adjacent to Western property line when behind existing large-scale commercial; Be required to meet the high-quality architectural standards proposed for Spring Hill Crossings as set forth in the architectural guidelines of pattern book

Spring Hill Crossings Bulk Standards - Commercial

Land Uses	Lot Area (Minimum)	Lot Width (Minimum)	Setbacks					Build To Line	Max Height
			Rear Yard (Minimum)	Side Yard (Minimum)	Front - Arterial	Front - Collector	Front - Local		
Commercial Uses									
Mixed-Use (Commercial, Residential, Office)	N/A	N/A	20'	10'	25'	15'	15'	N/A	6 Stories or 100'
Restaurant (Stand alone)	N/A	N/A	20'	10'	25'	15'	15'	N/A	2 Stories or 40'
Office	N/A	N/A	20'	10'	25'	15'	15'	N/A	6 Stories or 100'
Commercial (Standalone)	N/A	N/A	20'	10'	25'	15'	15'	N/A	2 Stories or 40'
Jewel Box Buildings*	N/A	N/A	0'	0'	0'	0'	0'	N/A	2 Stories or 40'

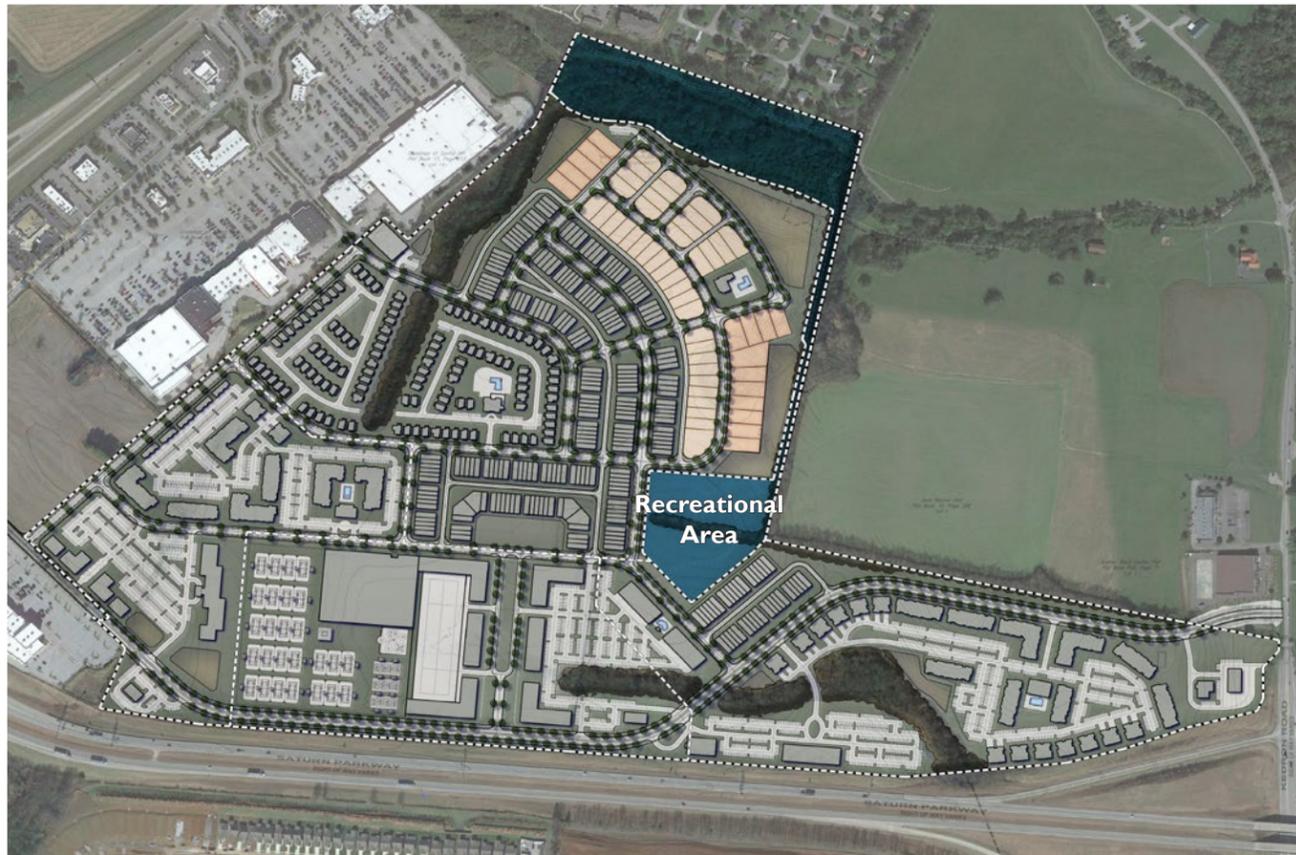
[*] Jewel Box Buildings are defined as smaller buildings built using top-of-the-line materials, custom design, and high end finishes that locate themselves in areas such as plazas and/or road islands and typically front open spaces.

Note: These standards modify the base zoning of C-5 and create a new bulk standards for Commercial Development

Spring Hill Crossings Bulk Standards - Residential

Land Uses	Lot Area (Minimum)	Lot Width (Minimum)	Maximum Attached Units (TH)	Maximum Building Length - Multi-Family Structure	Setbacks					Max Height	
					Rear Yard (Minimum)	Interior Side Setback (Minimum)	Side Yard (Minimum)	Front - Arterial	Front - Collector		Front - Local
Residential Uses (Based on R-6 Standards)											
Dwelling - Multi-Family (Apartment)	0'	N/A	N/A	225'	15'	10' from side lot line (one and two-story buildings with an additional 5' for each additional story) or 20' between residential buildings with an additional 10' between buildings for each additional story	10'	N/A	15'	10'	4 Stories or 75'
Dwelling – Townhouse	2,000 sf	20'	8	N/A	20'	0'	5'	N/A	20'	10'	4 Stories or 75'
Dwelling – Townhouse (Condo)	0'	20'	N/A	N/A	20'	0'	5'	N/A	N/A	10'	4 Stories or 75'
Dwelling - Single-Family	7,000 SF	50'	N/A	N/A	20'	5' from side lot line or 10' between residential buildings	5'	N/A	N/A	10'	3 Stories or 65'
Dwelling - Two-Family (Duplex/Condo)	0'	N/A	N/A	N/A	15'	5' from side lot line or 10' between residential buildings	10'	N/A	N/A	10'	3 Stories or 65'

Note: These standards modify the base zoning of C-5 and create a new bulk standards for Residential Development



Open Space Narrative:

Recreational Area: 17.39 AC

- Amenities:
 - o Multi-Use trail
 - o Benches
 - o Stake and Rider Fence
 - o Interpretive Signage along trail

Open Space: 37 AC (minus Public Park)

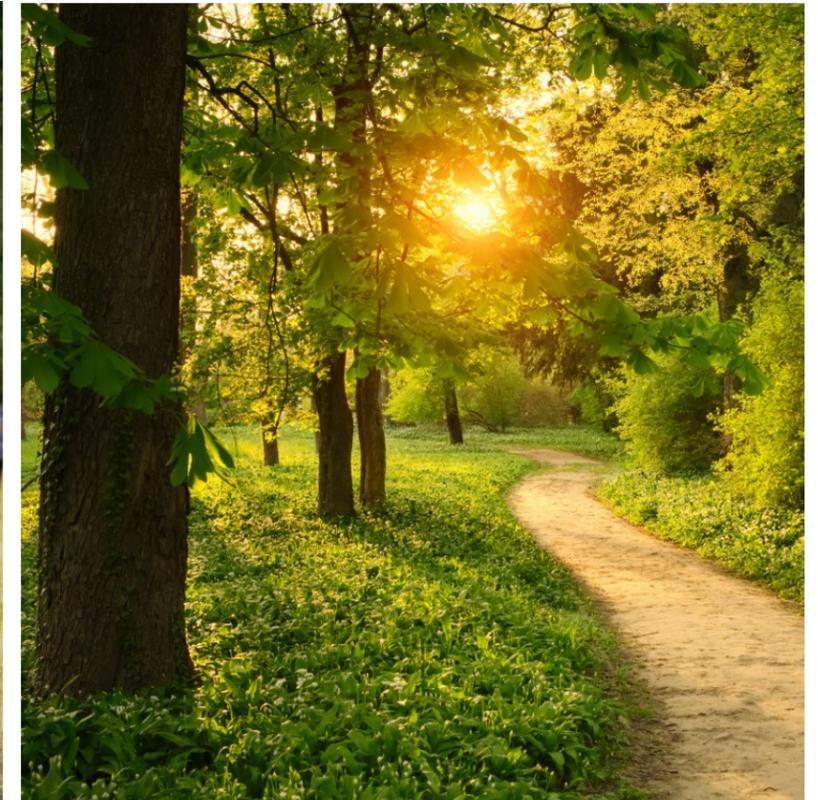
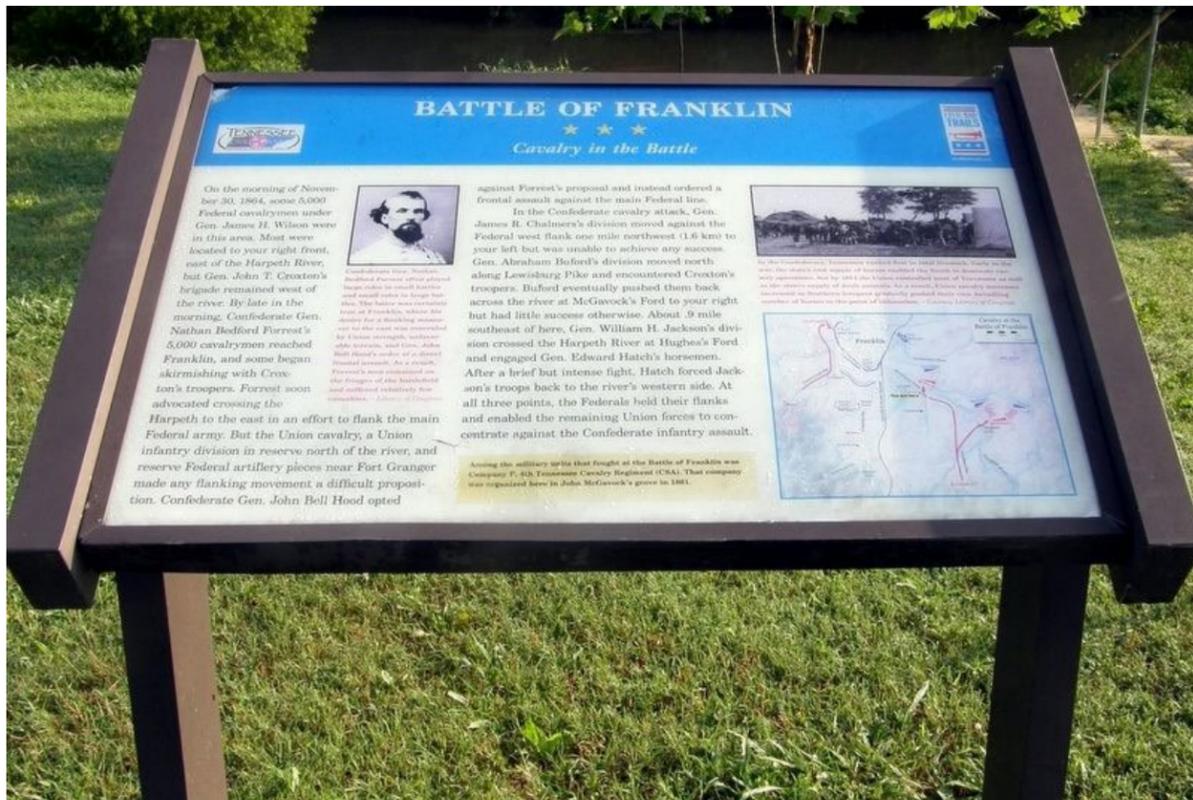
- Includes: stream buffers & stormwater areas

Total Open Space Preserved: Approx. 54 AC

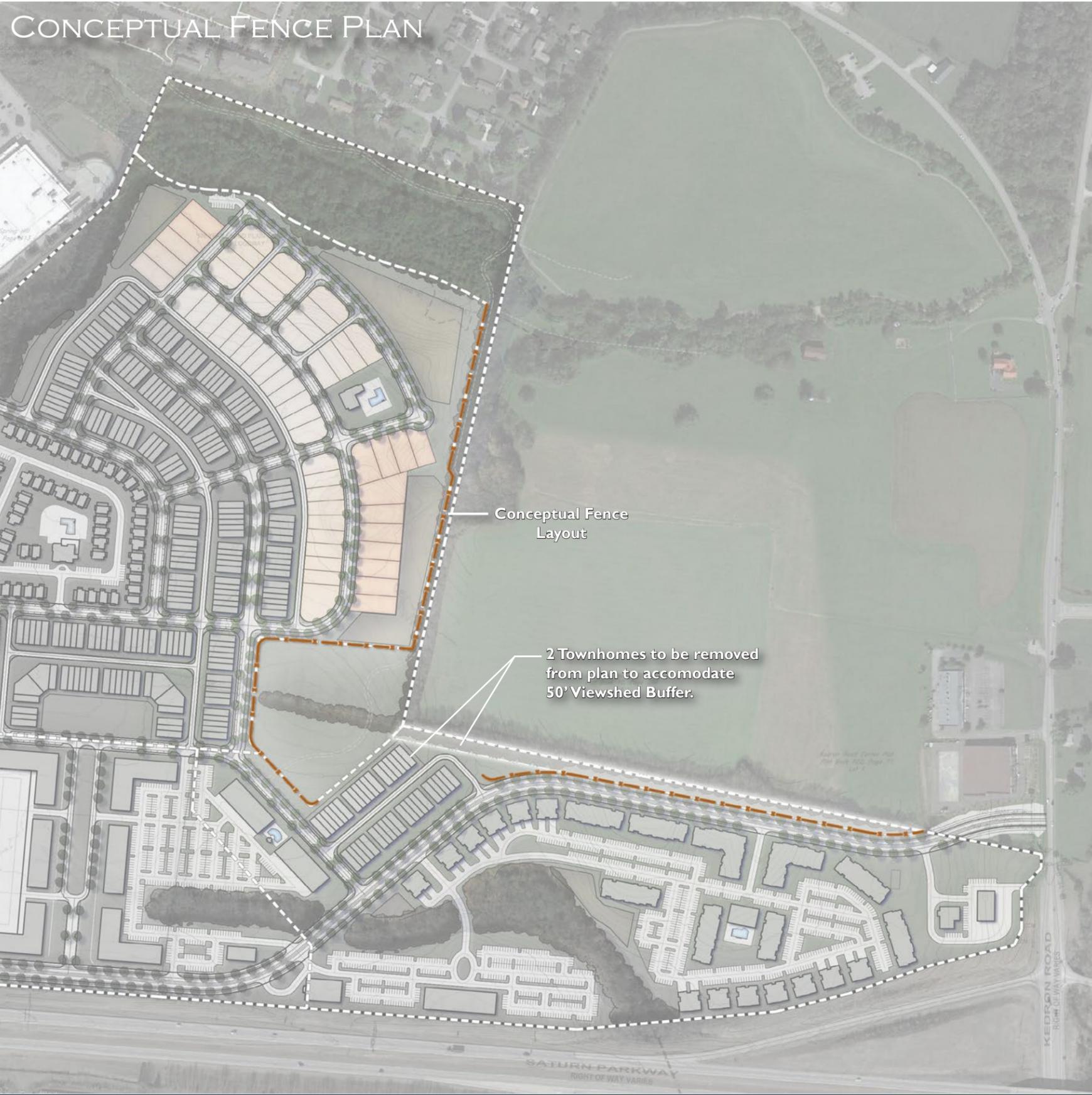
Neighborhood Amenities:

- Multiple potential pool sites
- Multiple Clubhouses
- Walking trails
- Multiple Potential playground sites
- USTA Tennis Courts
- Walking distance to Retail/Commercial
- Expansive pedestrian network including sidewalks, multi-use trails, and bike lanes

PROPOSED AMENITIES: GREENWAY TRAIL & BENCHES



RECREATIONAL AREA CHARACTER



STREET SECTION KEY

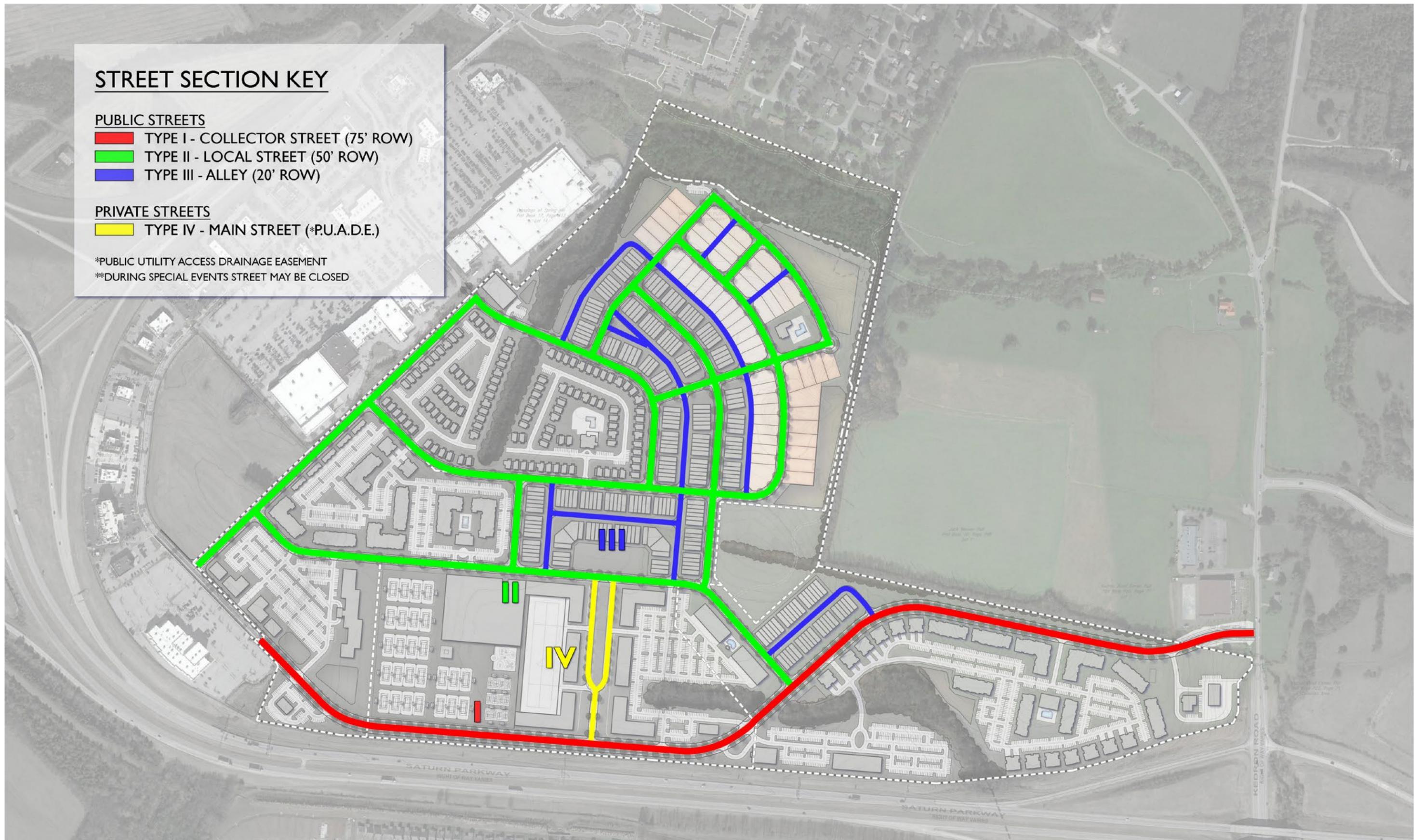
PUBLIC STREETS

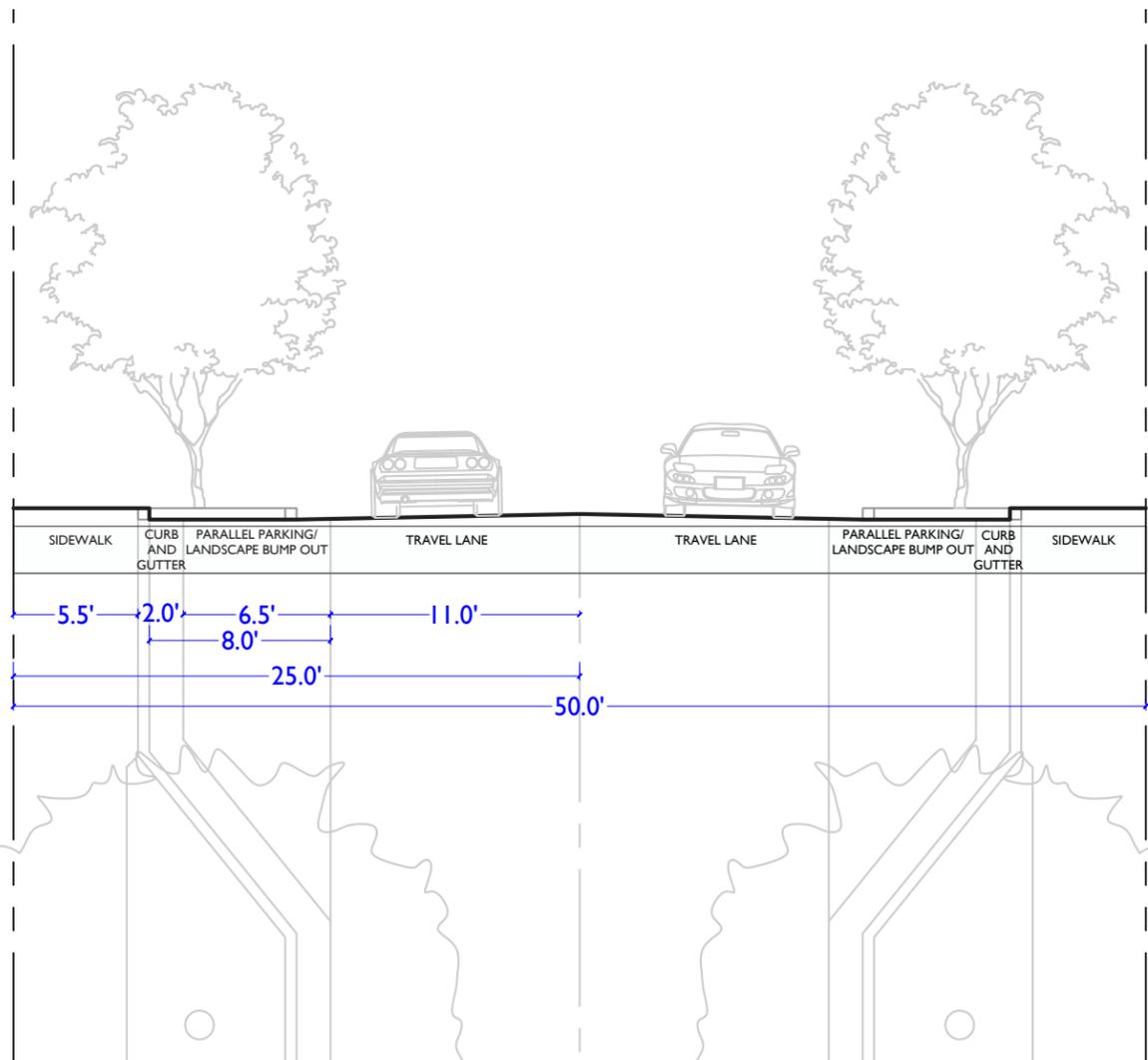
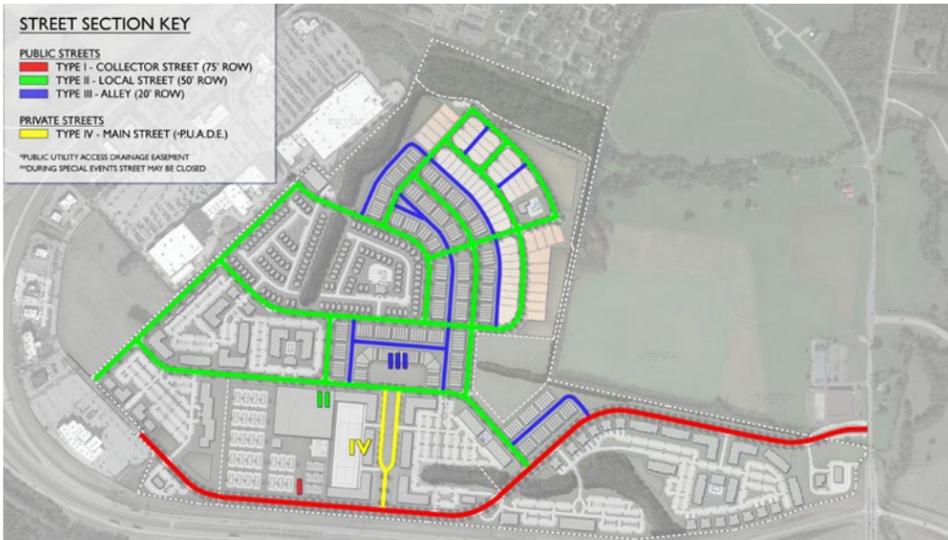
- █ TYPE I - COLLECTOR STREET (75' ROW)
- █ TYPE II - LOCAL STREET (50' ROW)
- █ TYPE III - ALLEY (20' ROW)

PRIVATE STREETS

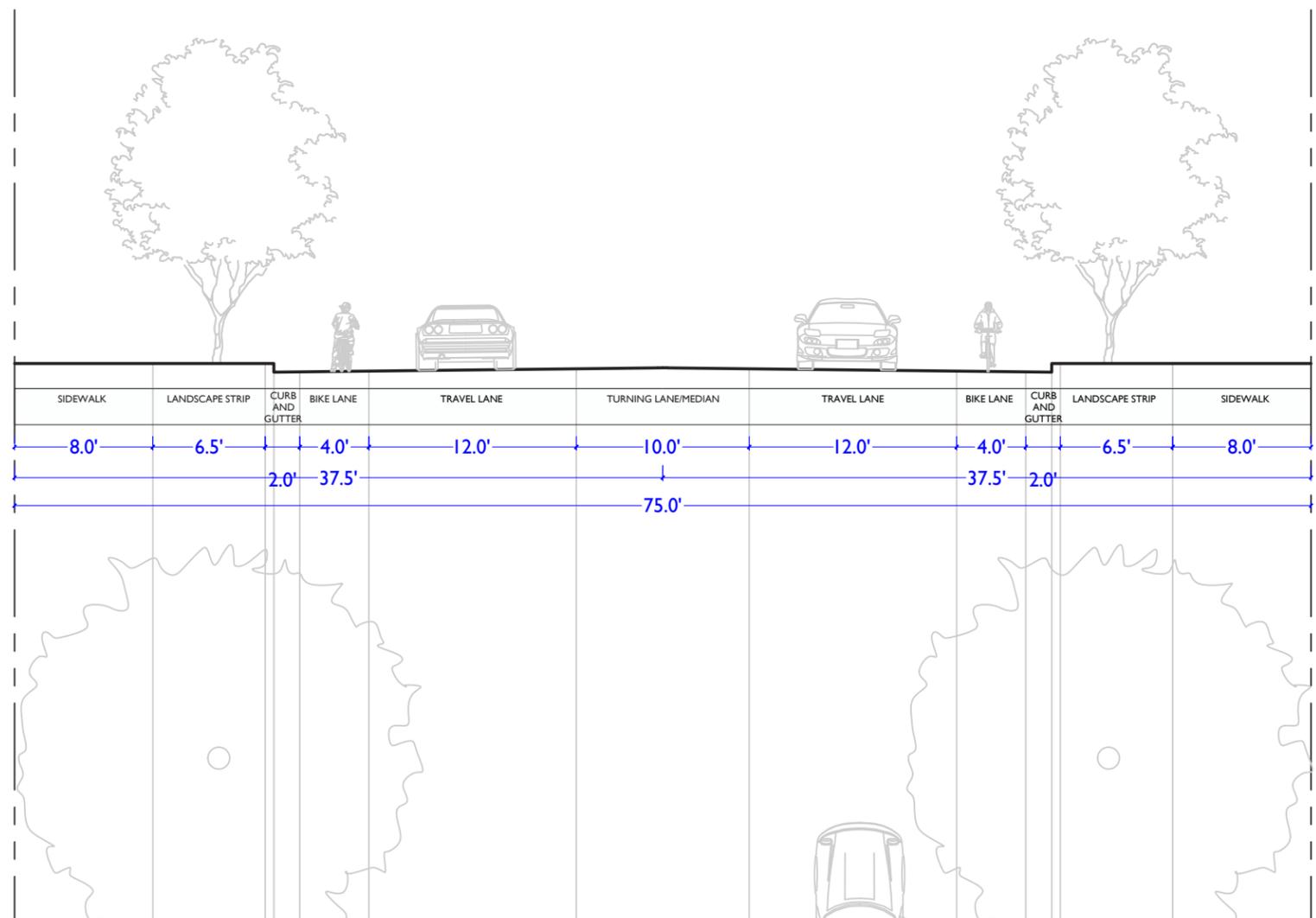
- █ TYPE IV - MAIN STREET (*P.U.A.D.E.)

*PUBLIC UTILITY ACCESS DRAINAGE EASEMENT
*DURING SPECIAL EVENTS STREET MAY BE CLOSED

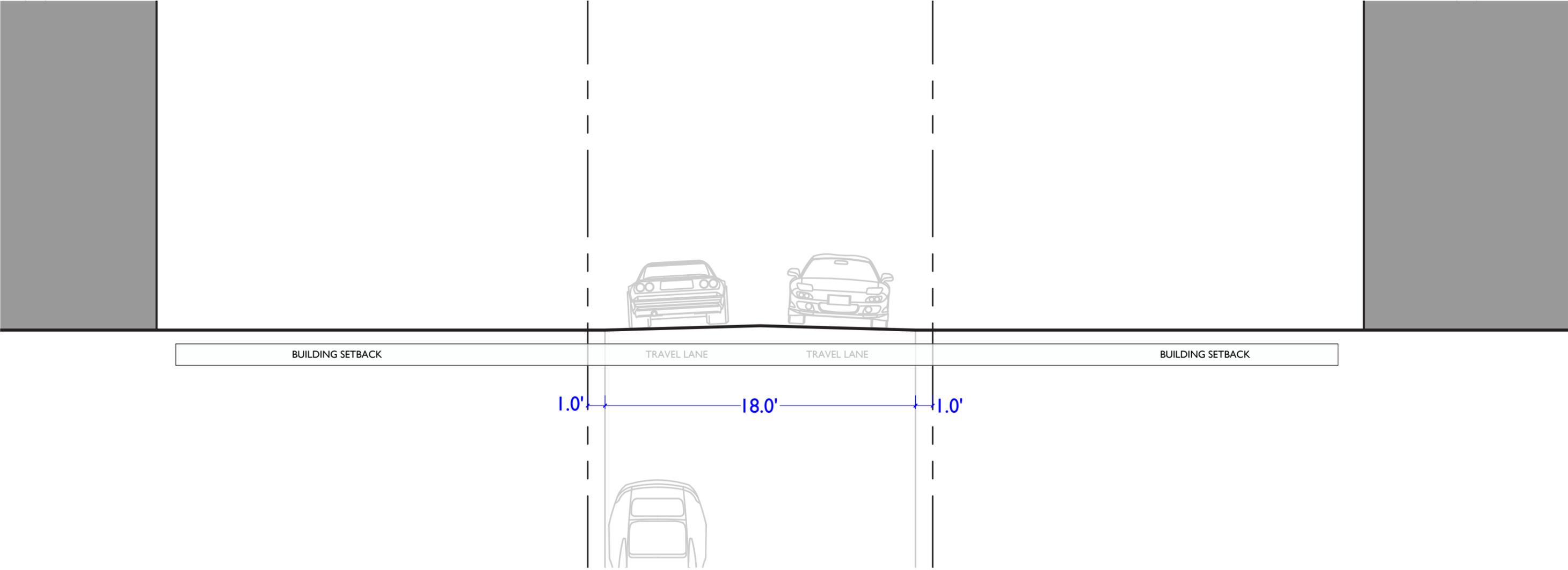




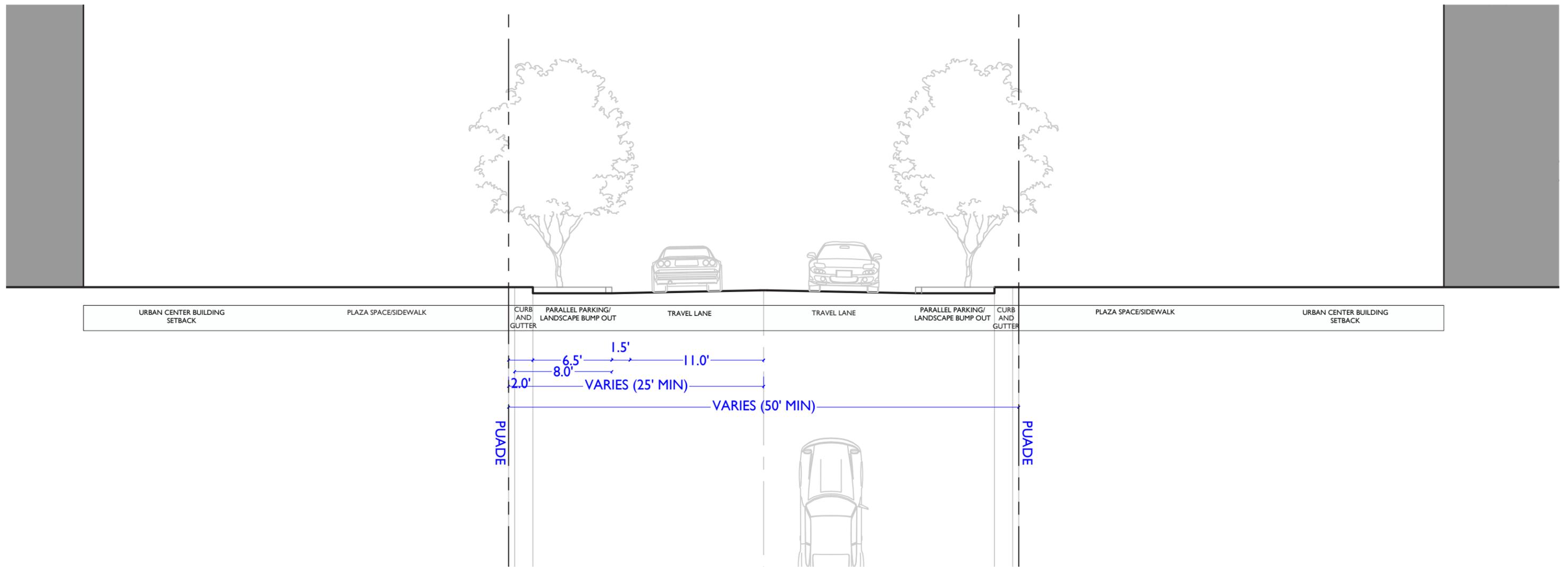
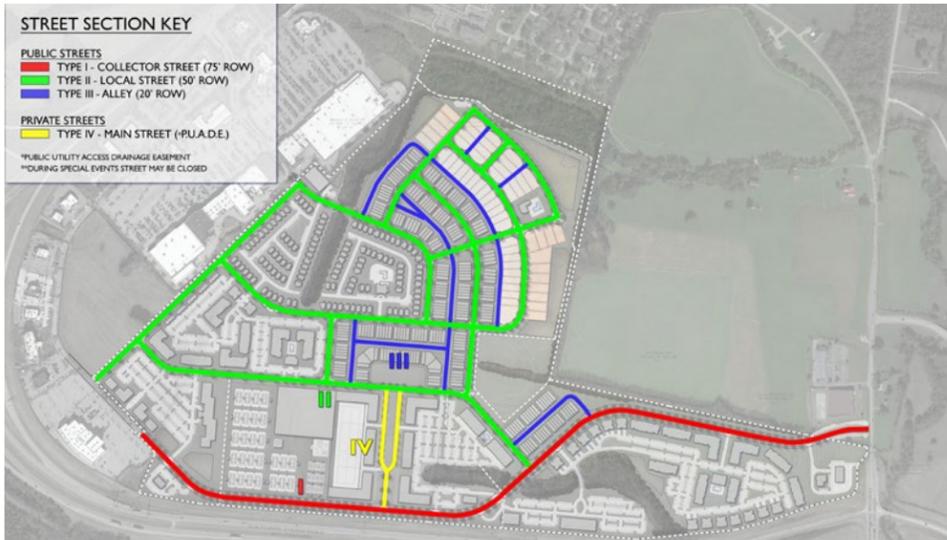
LOCAL STREET - 50' ROW



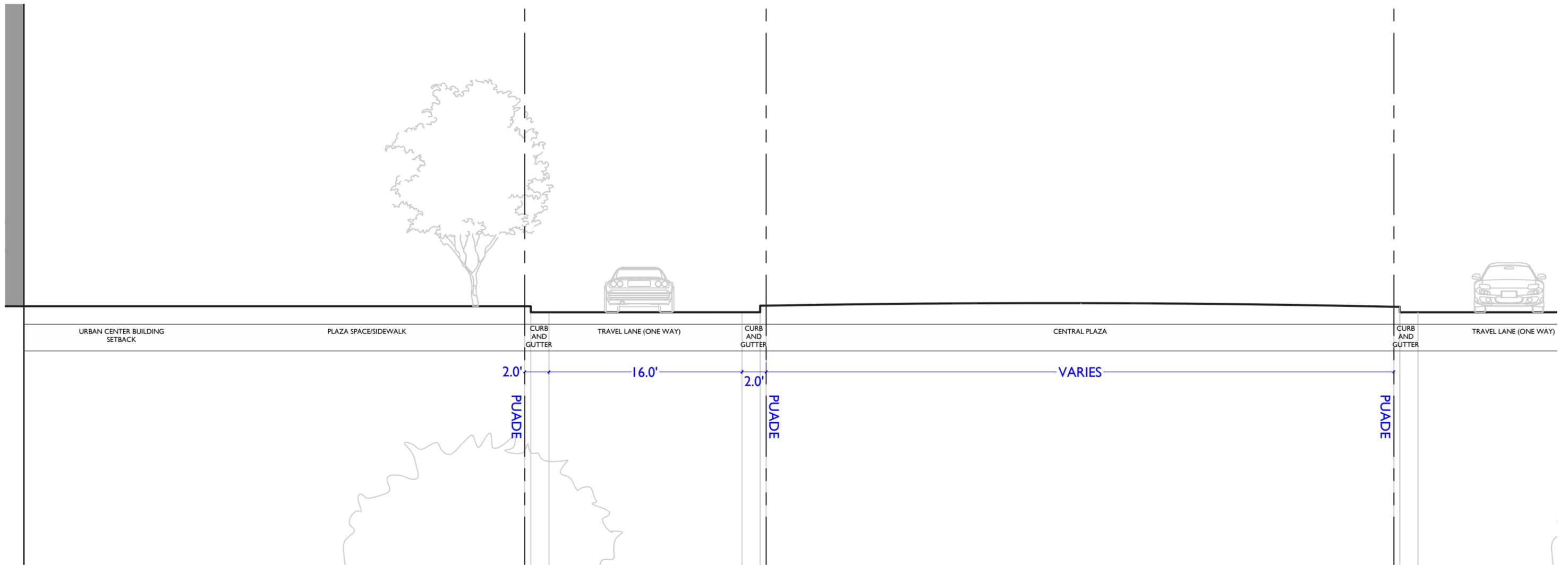
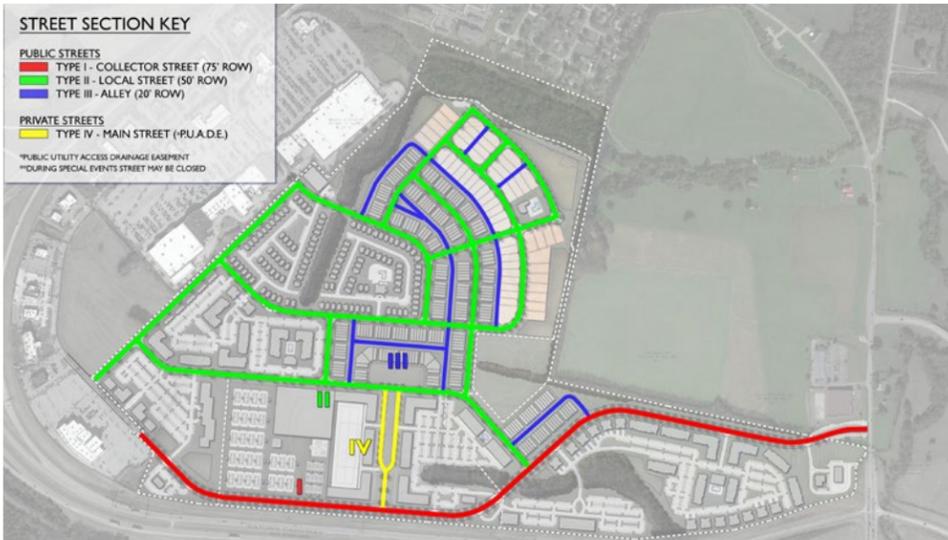
COLLECTOR - 75' ROW



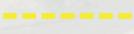
ALLEY ROW - 20' ROW

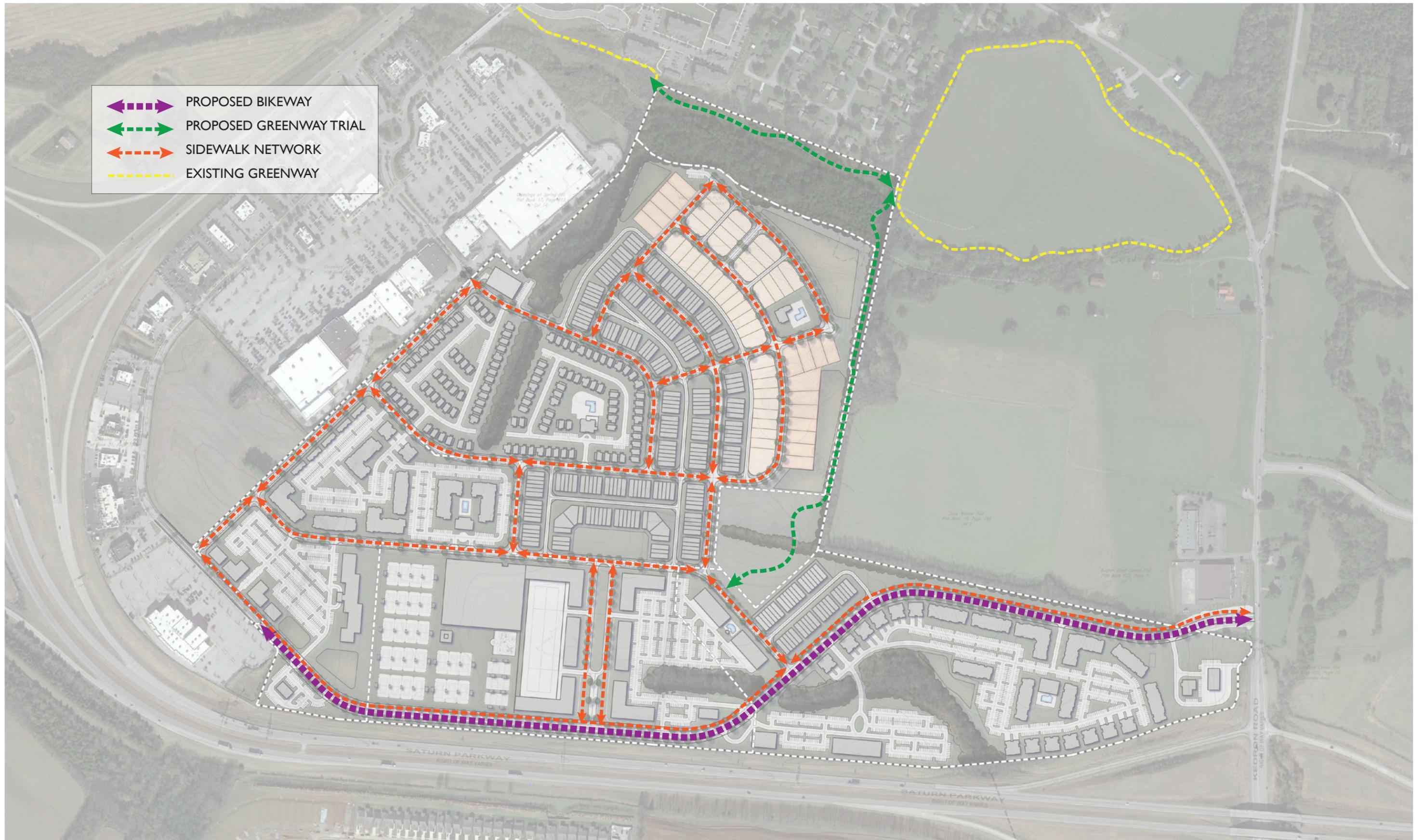


MAIN STREET (PARALLEL PARKING) - PRIVATE STREET WITH PUADE EASEMENT



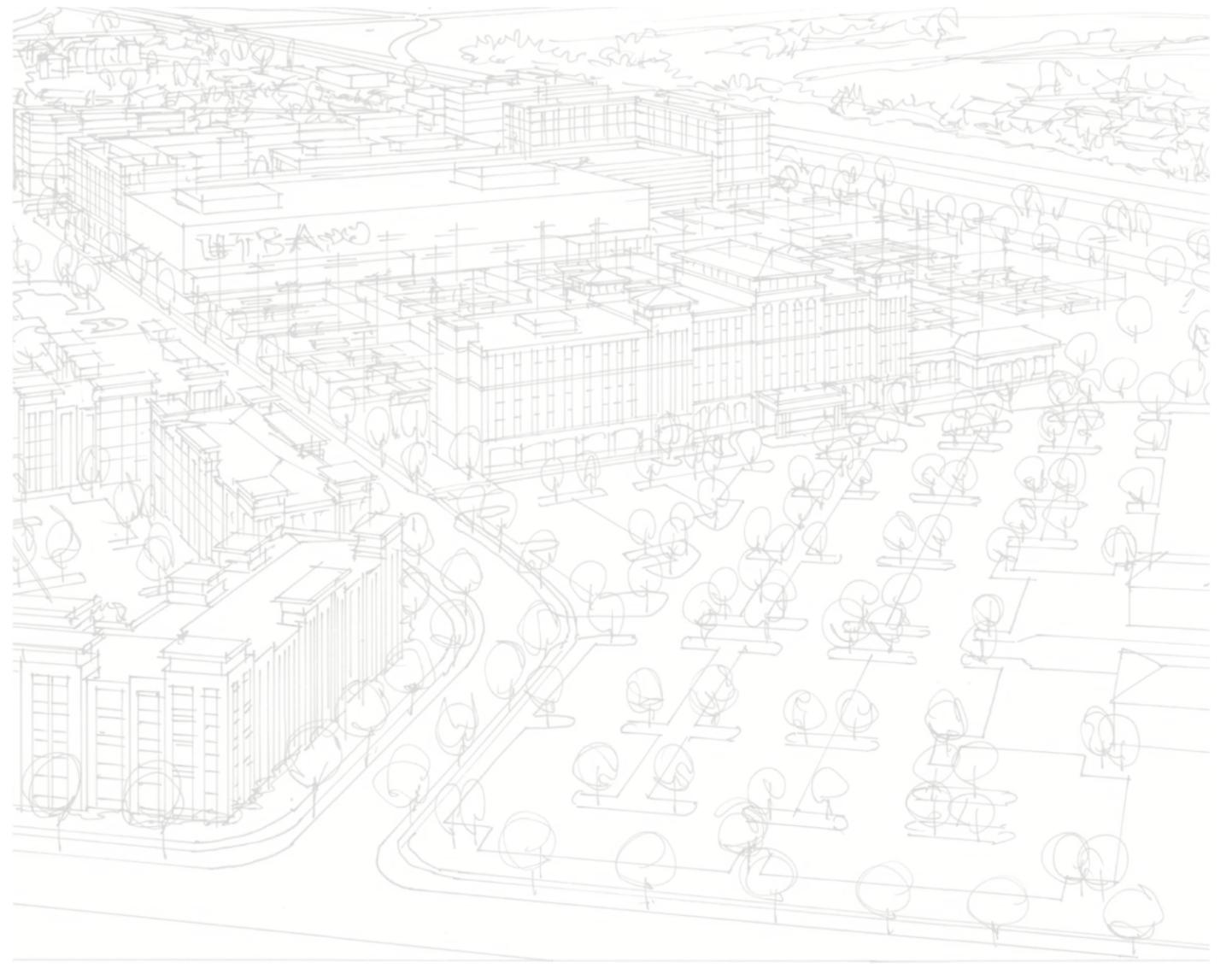
MAIN STREET (PLAZA BLVD) - PRIVATE STREET WITH A PUADE EASEMENT

-  PROPOSED BIKEWAY
-  PROPOSED GREENWAY TRIAL
-  SIDEWALK NETWORK
-  EXISTING GREENWAY





ARCHITECTURE GUIDELINES



Spring Hill Crossings Planned Development – Commercial and Mixed-Use Design Standards

The following design standards apply to new construction, substantial repair or rehabilitation meant to remedy damage or deterioration of the exterior façade of an existing structure, or additions to an existing structure in the C-D District. However, only those standards that relate to the specific repair, rehabilitation, or addition apply. Review for compliance with these design standards is conducted by the Design Review Commission, or the Planning Commission if the City has designated the Planning Commission the role of Design Review Commission. The Design Review Commission may modify any of these design standards for a development under review, including a determination that including a determination that a design standard may be waived in its entirety.

Façade Design

- a) Street abutting building façades must not contain blank wall areas that exceed 15 linear feet, measured parallel to the street.
- b) Street abutting building façades in excess of 100 feet must include **a repeating pattern** with no less than two of the following elements: color change, texture change, material module change, or a wall articulation change of no less than **two feet 12”** in depth, such as a reveal, pilaster, or projecting rib, to visually break up the massing of the ground floor into segments of no more than 40 feet.
- c) All buildings must be oriented to and have a public entrance from the highest street classification that the lot fronts. Ground floor entrances must be visually distinctive or prominent on the building façade. This may be accomplished through the use of architectural features such as entranceway roofs, canopies or awnings, entranceway recesses, a chamfered corner, sidelight windows, transom windows, or other adjacent window designs.
- d) ~~Buildings should be designed with a defined base and cap.~~
- e) Building forms must be tailored to fit within the existing topography of the site and other site features specifically existing trees and vegetation.
- f) Ground floor building entrances may be recessed no more than **six 8** feet from the required front **build-to-zone**, and must be no wider than **ten 20** feet. Such a recess is considered to meet any required minimum build-to percentage.
- g) ~~Street abutting building façades must provide a building entrance no less than once every 40 feet.~~
- h) Vents, air conditioners, and other utility elements are prohibited as part of a front or corner-side façade, except where such elements are enclosed, camouflaged, screened, obscured, **architecturally integrated into the facade**, or otherwise not readily apparent to a casual observer.
- i) Building materials and visual elements used on the primary building frontage must continue on all building façades unless a buffer yard, per this Code, is established. Where a buffer yard is established along an interior side and/or rear yard, the building material and visual elements do not need to continue on such façades. (This does not allow for the use of materials listed as prohibited.)
- j) Building materials of natural, earth tone colors are required on all façades.

- k) “Stage set” façades are prohibited.

Fenestration Design

- a) ~~A bulkhead or knee-height wall a minimum of 18 inches and a maximum of 24 inches in height is required along any street abutting façade to provide a definable base and give visual weight to required ground-floor glazing.~~
- b) ~~In the C-D-C Sub-District, the ground floor must maintain a minimum transparency of 60%, measured between at minimum two and ten feet in height from grade.~~
- c) ~~In the C-D-E1 and C-D-E2 Sub-Districts,~~ the ground floor must maintain a minimum transparency of 50%, measured between at minimum two and ten feet in height from grade.
- d) Upper stories must maintain a minimum transparency of 25% of the wall area of the story.
- e) Door and window framing systems color should **blend with compliment** the overall design of the building.

Roof Design

- a) Rooflines over 100 linear feet in length must be variegated, and incorporate a major focal point feature, such as a dormer, gable, **roof terrace landscape element**, or projected wall feature. An element of variegation on the roofline must occur at intervals of no more than 75 linear feet.
- b) Parapet walls must feature three-dimensional cornice treatments or other shadow-creating details along their tops **at intervals of no less than 75 feet.**
- c) Any roof that is visible from a public right-of-way must be architectural shingle or colored standing seam metal roofing **or other architectural screen material**
- d) ~~Green roof, blue roof, and white roof designs are encouraged.~~
- e) Reflective roof surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or non-reflected solar energy and reduce heat transfer to the building.
- f) Mechanical equipment on roofs must be screened from view from all sides by the use of parapet walls **and/or architecturally integrated screen elements** of equal or greater height.

Site Elements

- a) ~~In the C-D District,~~ parking is prohibited between the front building façade and the front lot line, and between the corner side façade and the corner side lot line.
- b) In addition to the requirements of Section 11.5, when parking is located adjacent to a building, a continuation of the street wall must be created along the street lot line of the parking through the use of a solid masonry wall designed to complement the building or combination of landscape and an open decorative fence as follows:
 - a. A solid masonry wall must be between three and four feet in height. An open, decorative feature may be included in the design of such a wall, and may extend up to a maximum height of five feet.
 - b. An open decorative fence must be between four and six feet in

height, and must be constructed of high quality durable material such as wrought iron.

- c) Site elements, such as furniture, amenities and public spaces are encouraged within a site and contribute to create authentic sense of place and enhance the visitor’s experience.
- d) Site furniture should be provided to allow for visitor resting places, eating or gathering. Furniture should be of high-quality materials and should coordinate with the scale and design of the development and should be a natural color. **Colors such as cream, black, dark brown and dark green are appropriate.**
- e) When provided, planters must be made of durable materials and compatible with other site elements.
- f) The use of public art, water fountains, and/or other water features are encouraged.
- g) When provided, trash receptacles must be coordinated and made of metal, wrought iron, stone or other durable material.

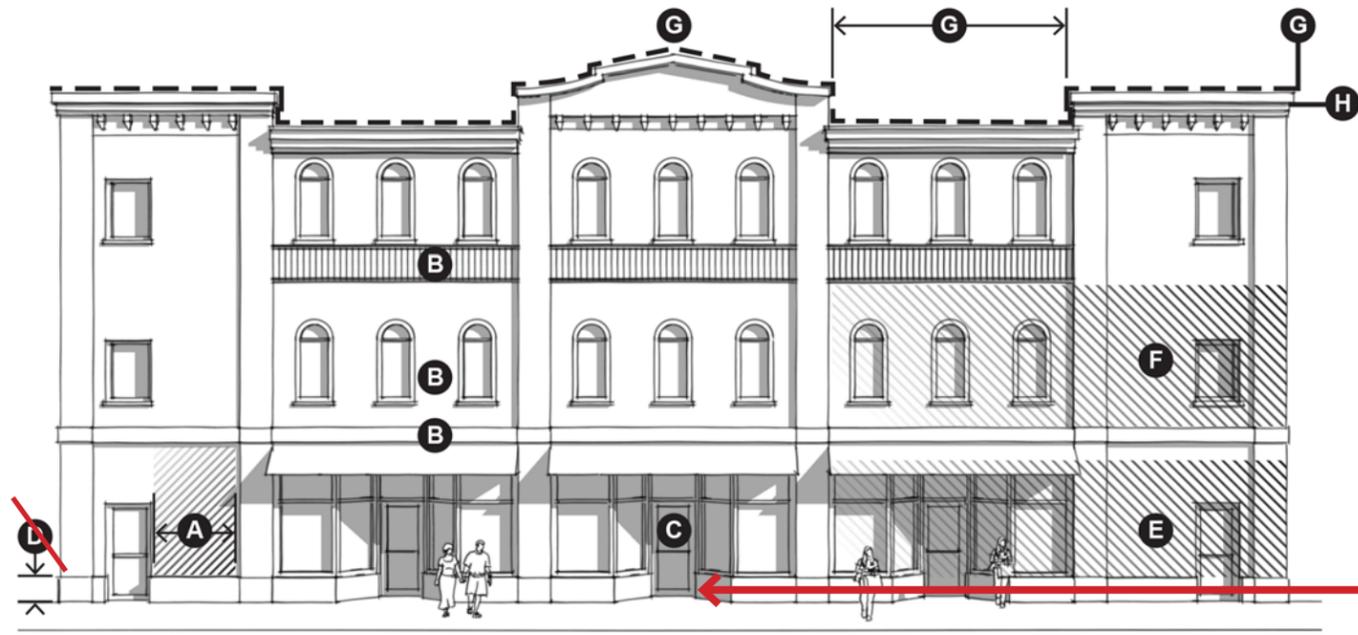
Prototype Design

- a) Buildings ~~in the C-D District~~ must reflect the unique style of the City. Standard “corporate” or “franchised” styles typically found with big-box or other national businesses are prohibited.
- b) Prototype designs must be adapted to reflect these design standards and must be compatible with the site’s immediate surroundings.

Spring Hill Crossings Planned Development - Commercial and Mixed-Use Building Material Restrictions

The following building material restrictions apply ~~in the C-D District~~. Building material restrictions apply to the face of drive through canopies, supporting columns, and accessory buildings.

- 1) The following building materials are prohibited on any part of a façade:
 - a) Plain concrete block
 - b) **Plastic**
- 2) The following building materials are prohibited as a primary surface finish material on any façade but may be used as decorative or detail elements for up to **20% 30%** of any one façade (calculated in the aggregate):
 - a) Corrugated metal
 - b) **Aluminum, steel, or other metal sidings**
 - c) Exposed aggregate (rough finish) concrete wall panels
 - d) T-111 composite plywood siding
 - e) Vinyl (limited use on soffits and eaves is subject to city approval)
 - f) Exterior insulating finish systems (EIFS)
- 3) In selecting exterior building materials, consideration should be given to the appropriateness of the materials to the scale of building proposed. The dimensional size of the material should relate to the size of the building. For example, a traditional size brick should be used on smaller buildings, with consideration being given for larger brick sizes on larger-scaled buildings.



Glazing permitted to grade without the requirement of a bulkhead or knee height wall

- A** Street abutting building façades must not contain blank wall areas that exceed 15 linear feet, measured parallel to the street.
- B** Street abutting building façades in excess of 100 feet must include a repeating pattern with no less than two elements, such as color change, texture change, material module change, or articulation of no less than ~~two feet~~ 12 inches in depth, such as a reveal, pilaster, or projecting rib. Elements must repeat at an interval of ~~40 feet~~ 50 feet.
- C** All buildings must have a public entrance from the sidewalk along the primary building frontage. Ground floor entrances must be visually distinctive or prominent on the building façade. Ground floor building entrances may be recessed no more than six feet ~~from the required front build-to-zone~~, and must be no wider than ten feet. ~~A building entrance must be provided at an interval of no less than once every 40 feet.~~
- ~~**D** A bulkhead or knee-height wall a minimum of 18 inches and a maximum of 24 inches in height is required along any street abutting façade.~~

- ~~**E** In the C-D-C Sub-District, the ground floor must maintain a minimum transparency of 60%, measured between at minimum two and ten feet in height from grade.~~
- ~~In the C-D-E1 and C-D-E2 Sub-Districts, the ground floor must maintain a minimum transparency of 50%, measured between at minimum two and ten feet in height from grade.~~
- F** Upper stories must maintain a minimum transparency of 25% of the wall area of the story.
- G** Rooflines over 100 linear feet in building length must be variegated, and incorporate a major focal point feature, such as a dormer, gable, or projected wall feature. An element of variegation on the roofline must occur at intervals of no more than 75 linear feet.
- H** Parapet walls must feature three-dimensional cornice treatments or other shadow-creating details along their tops. ~~at intervals of no less than 75 feet.~~

Mechanical equipment on roof must be screened from view from all sides by the use of parapet walls of equal or greater height or by the use of architecturally integrated building elements of equal or greater height.

Spring Hill Crossings Planned Development – Residential Design Standards

I. Dwelling – Accessory Dwelling Unit

1. No more than one accessory dwelling unit is allowed per lot. For townhouse developments where individual lots are not created, one accessory dwelling unit is allowed per townhouse dwelling unit. When permitted, the accessory dwelling unit does not count toward the maximum number of dwelling units on a lot, including when the accessory dwelling unit is located in a detached structure.
2. Both the principal dwelling unit and the accessory dwelling unit must be owned by the same property owner. One of the units must be owner-occupied.
3. Detached accessory dwelling units may only be located in the rear yard. Detached accessory dwelling units must be located ten feet from any lot line and from any principal building.
4. Both the principal dwelling unit and the accessory dwelling unit must maintain separate meter connections.
5. A detached accessory dwelling unit is subject to the height permitted for a detached garage.
6. No accessory dwelling unit may exceed 1,250 square feet in gross floor area. Accessory dwelling units above 901 square feet in gross floor area require a special use permit.
7. As of the effective date of this Code, existing detached garages may convert an upper floor to an accessory dwelling unit and may exceed the 1,250 square feet in gross floor area limit. Such conversions are subject to a special use permit if they exceed 901 square feet in area.
8. When a detached garage is converted to an accessory dwelling unit, the ground floor must be maintained as parking.
9. No additional parking is required for an accessory dwelling unit. Required parking for the principal structure must be maintained.

K. Dwelling - Multi-Family or Townhouse

I. Siting Standards

Siting standards are reviewed by the Design Review Commission but cannot be modified or waived by the Commission. Siting standards may only be modified by a variance.

a) There must be a minimum separation of ~~+5 feet~~ **10 feet** between exterior sidewall of townhouse and multi-family developments. Where the front or rear wall of a building faces the front or rear wall of another building in the development, the minimum required separation between such buildings must be ~~30 feet~~ **20 feet**. Driveways and parking areas, and site features like patios may be located within this minimum separation area.

b) All townhouse and multi-family developments must provide a perimeter yard as required by this section.

This perimeter yard must be designated as common open space. (See Article 4 for illustration of perimeter yard.)

i. Required minimum perimeter yard abutting a street:

(A) 20 feet when oriented toward (facing) a public street. (Section 11.7.D also applies if such street is a collector or arterial. However, the overall yard width required is not cumulative; the required width is whichever is greater.)

(B) 25 feet when oriented away from (backing up to) a public street. (Section 11.7.D also applies if such street is a collector or arterial. However, the overall yard width required is not cumulative; the required width is whichever is greater.)

(C) 10 feet when abutting a private street or private drive, or any other private circulation ways internal to the development (excludes driveways and parking areas).

ii. Required minimum perimeter yard abutting other zoning districts; required only along the lot line that abuts the district:

(A) Abutting an R-7 District: 15 feet

(B) Abutting multi-family and townhouse dwellings in the R-6 District: 15 feet

(C) Abutting single-family, two-family, and three-family dwellings in the R-6 District, and abutting all other districts: 25 feet

iii. Individual townhouse lots and multi-family developments cannot encroach into this area, including accessory structures. Such perimeter yards are not counted toward meeting individual townhouse lot or multi-family structure minimums.

~~iv. The required perimeter yards are not counted as part of the required on-site open space for multifamily developments per item c below.~~

v. Where both a perimeter yard and a buffer yard are required by this Code, only the yard with the greater width is required. If a buffer yard controls, individual townhouse lots and multi-family developments cannot encroach into this area, including accessory structures. Such buffer yards are not counted toward meeting individual townhouse lot or multi-family structure minimums.

vi. No structures, including those related to common open space uses, are allowed within the perimeter yard with the exception of fences or walls for the development. Fences or walls for individual townhouse lots are prohibited in the perimeter yard area.

c) All multi-family developments must provide at least ~~+100 square feet~~ **50 square feet** of useable on-site open space per dwelling unit. This open space may be either private open space for the dwelling unit or common open space for the use of residents **throughout the whole development site**. Such open space must meet the following requirements:

i. Common open space areas must be accessible to all residents of the subject development.

ii. The required common open space area is not required to be contiguous but must be centrally located and incorporated into the site plan as a primary design feature. Multi-family developments must be sited to maximize opportunities for creating usable, well-integrated common spaces.

iii. Lighting must be provided as needed for active recreation areas within common open spaces to provide visual interest at night and additional security

iv. Common outdoor spaces should not be located adjacent to dumpster enclosures, loading/service areas, or other incompatible uses unless site constraints allow no other alternative.

v. If common outdoor spaces are located adjacent to a street right-of-way, landscaping must be used to provide a buffer that screens the view between the space and the right-of-way.

vi. The following active and passive open space uses are counted as common open space:

(A) Natural water features, wetlands, and conservation areas.

This includes required buffers from natural resources that are not included as part of a private lot.

(B) A trail system connecting open space areas or greenways. This includes hiking, biking, and equestrian trails. Where feasible, any trail system or greenway must connect and provide access to the proposed bicycle and greenway network, as shown in the Bicycle and Greenway Plan.

(C) Recreational facilities containing hardscape or impervious surfaces such as swimming pools, tennis courts, and skateparks.

(D) Parks and playgrounds.

(E) Greenhouses and community gardens.

(F) Reuse of structures existing on the site prior to development for community purposes (i.e. rehab of an existing barn or silo for the use of the residents, etc.)

(G) On-site stormwater management facilities may be used to meet up to 30% of the required common open space amount provided such areas or facilities to be counted as common open space are

accessible and useable as community amenities by the residents of the development (e.g., viewing platforms, seating/picnic areas, ponds for fishing and/or boating, etc.).

vii. Multi-family developments larger than five acres in gross area must provide a minimum of one formal recreational facility. Formal recreational facilities include, but are not limited to, clubhouses or community rooms, swimming pools, tennis courts, and playgrounds. This is included in the required amount of common open space.

d) Common facilities for townhouse and multi-family developments such as clubhouses and swimming pools must be located a minimum of 30 feet from any lot line.

2. Design Standards

Review for compliance with these design standards is conducted by the Design Review Commission, or the Planning Commission if the City has designated the Planning Commission the role of Design Review Commission. The Design Review Commission may modify any of these design standards for a development under review, including a determination that a design standard may be waived in its entirety.

a) Façades must be designed with consistent materials and treatments that wrap around all façades. There must be a unifying architectural theme for the entire multi-family or townhouse development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.

b) Building façades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three-dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a façade.

c) Building forms must be tailored to fit within the existing topography of the site and other site features specifically existing trees and vegetation.

d) Development sites with multiple buildings must incorporate a strong visual relationship between buildings. A consistent architectural style or theme should be used throughout.

e) The following building materials are prohibited on any façade.
i. The following building materials are prohibited on any part of any façade:

- (A) Plain concrete block
- (B) Plastic

ii. The following building materials are prohibited as a primary surface finish material on any façade but may be used as decorative or detail elements for up to ~~20%~~ 30% of the façade

- ~~(A) Corrugated metal~~
- ~~(B) Aluminum, steel or other metal sidings~~

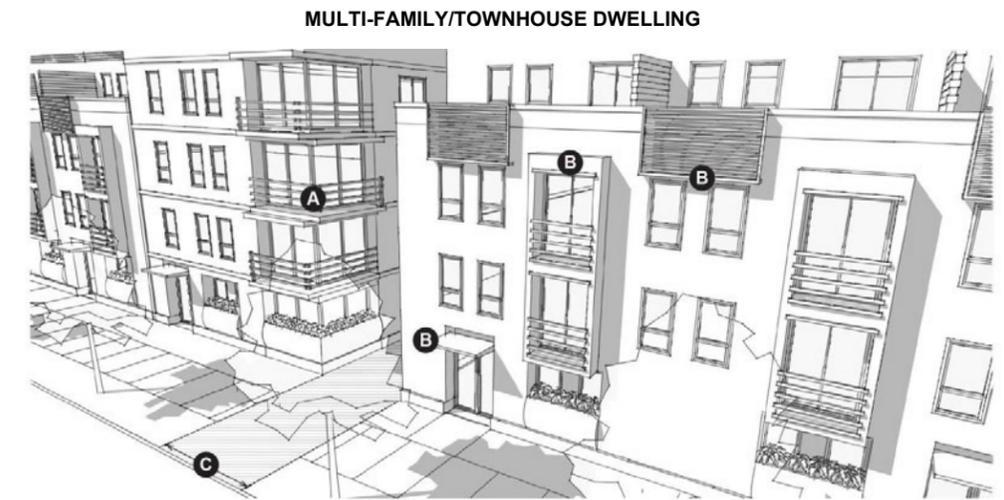
- (C) Exposed aggregate (rough finish) concrete wall panels (30%)
- (D) T-111 composite plywood siding (30%)
- (E) Vinyl (30%)
- (F) Exterior insulating finish systems (EIFS) (30%)

iii. In selecting exterior building materials, consideration should be given to the appropriateness of the materials to the scale of building proposed. The dimensional size of the material should relate to the size of the building. For example, a traditional size brick should be used on smaller buildings, with consideration being given for larger brick sizes on larger-scaled buildings

f) All buildings must provide an orientation to and have a public pedestrian entrance from ~~the highest street classification that the lot fronts public streets, private drives, and/or open spaces~~. Public entrances must be visually distinctive from the remaining portions of the façade along which they are located.

g) For a townhome use direct vehicular access to public streets shall only be allowed ~~with local roads, with Planning Commission approval and only~~ when the Planning Commission is assured that such access will not adversely affect traffic flow and public safety.

h) For a multi-family use parking shall be accessed via a driveway. Individual parking spaces may not be adjacent to or back into a public street. ~~except for parallel parking~~.



A Consistent materials and architectural treatments must wrap around all street facing façades. The entire townhouse or multi-family development must have a unifying architectural theme.

B Building façades must include windows, projected or recessed entrances, overhangs, and other architectural features to provide dimensional elements on a façade.

C Minimum separation of ~~15 feet~~ 10 feet between building sidewalls.

Mechanical equipment on roof must be screened from view from all sides by the use of parapet walls of equal or greater height or by the use of architecturally integrated building elements of equal or greater height.

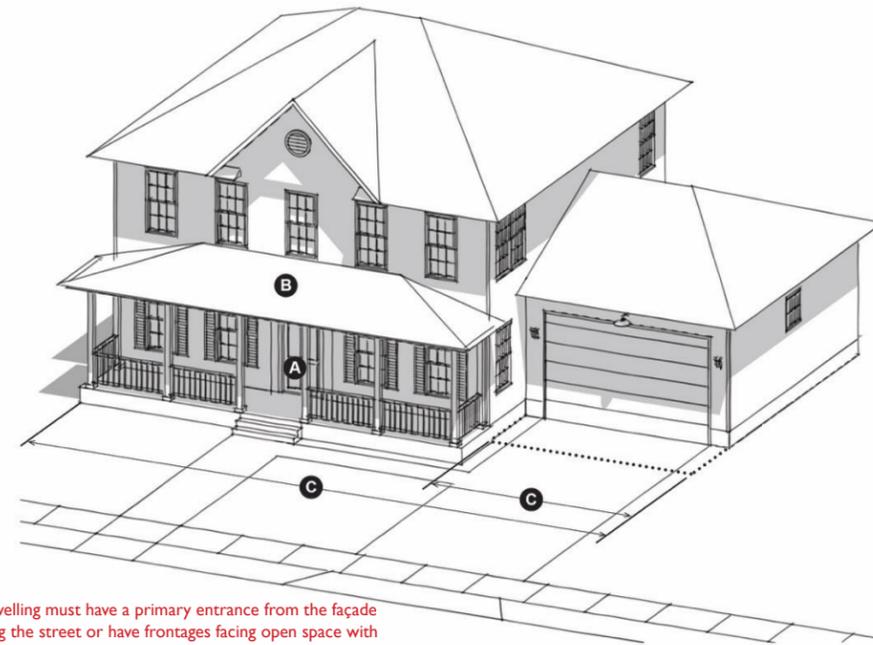
Spring Hill Crossings Planned Development – Residential Design Standards (CONTINUED)

L. Dwelling - Single-Family

These single-family dwelling standards may only be modified by a variance. These standards cannot be modified or waived by the Design Review Commission.

1. A dwelling must have a primary entrance from the façade facing the street **or have frontages facing open space with a sidewalk connecting to the public street.** The front entry must be a dominant feature on the front elevation of a home and an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front façade.
2. Windows, entrances, porches, or other architectural features on habitable structures are required on all street facing facades to avoid the appearance of blank walls. This requirement does not apply to garage facades.
3. Front-loaded attached garages are limited to 40% of the width of the front building line or 28 feet, whichever is greater. Garage width is measure between garage doors; in the case of garages designed with multiple garage doors the distance is measure between the edge of the out most doors.
4. Buildings constructed on a concrete slab must be elevated a minimum of one foot from finished grade.
5. Concrete block foundations on a single-family home must be covered with a permanent durable material, such as brick, stone, or split face block.

SINGLE-FAMILY DWELLING

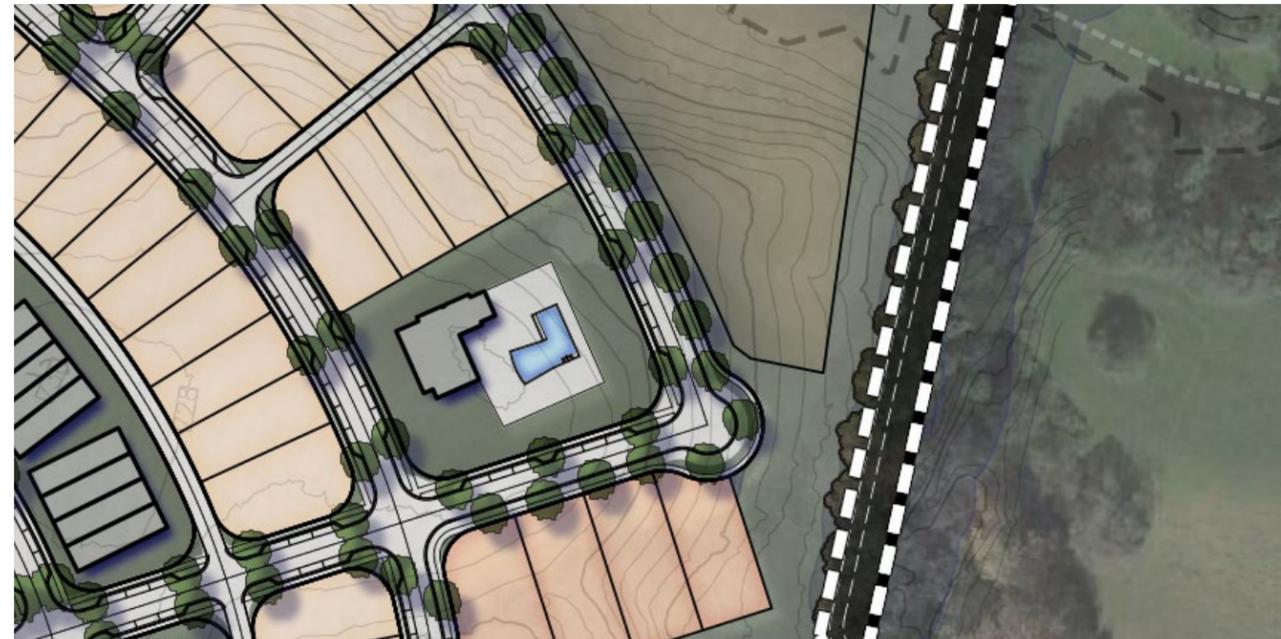


A dwelling must have a primary entrance from the façade facing the street or have frontages facing open space with a sidewalk connecting to the public street.

- A** ~~The primary entrance from the façade must face the street.~~ The front entry must be a dominant feature on the front elevation of a home and an integral part of the structure.
- B** Windows, entrances, porches, or other architectural features are required on all street-facing facades to avoid the appearance of blank walls.

- C** Front-loaded attached garages are limited to 40% of the width of the front building line or 28 feet, whichever is greater.

Single-Family Homes Fronting Open Space



Spring Hill Crossings Planned Development – Residential Design Standards (CONTINUED)

M. Dwelling - Two-Family or Three-Family

1. Siting Standards

Siting standards are reviewed by the Design Review Commission but cannot be modified or waived by the Commission. Siting standards may only be modified by a variance.

a) Front-loaded attached garages are limited to 40% of the width of the front building line or 28 feet, whichever is greater. Garage width is measure between garage doors; in the case of garages designed with multiple garage doors the distance is measure between the edge of the outmost doors.

b) Buildings constructed on a concrete slab must be elevated a minimum of one foot from finished grade **unless the residence is built to be ADA compliant and should be built to standards under ADA guidelines.**

c) A dwelling must have a primary entrance from the façade facing the street, **a private drive, or an open space.** **Multiple entries maybe be allowed on two and three family residences and should front one of the aforementioned conditions.** The front entry must be a dominant feature on the front elevation of a home and an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front façade.

2. Design Standards

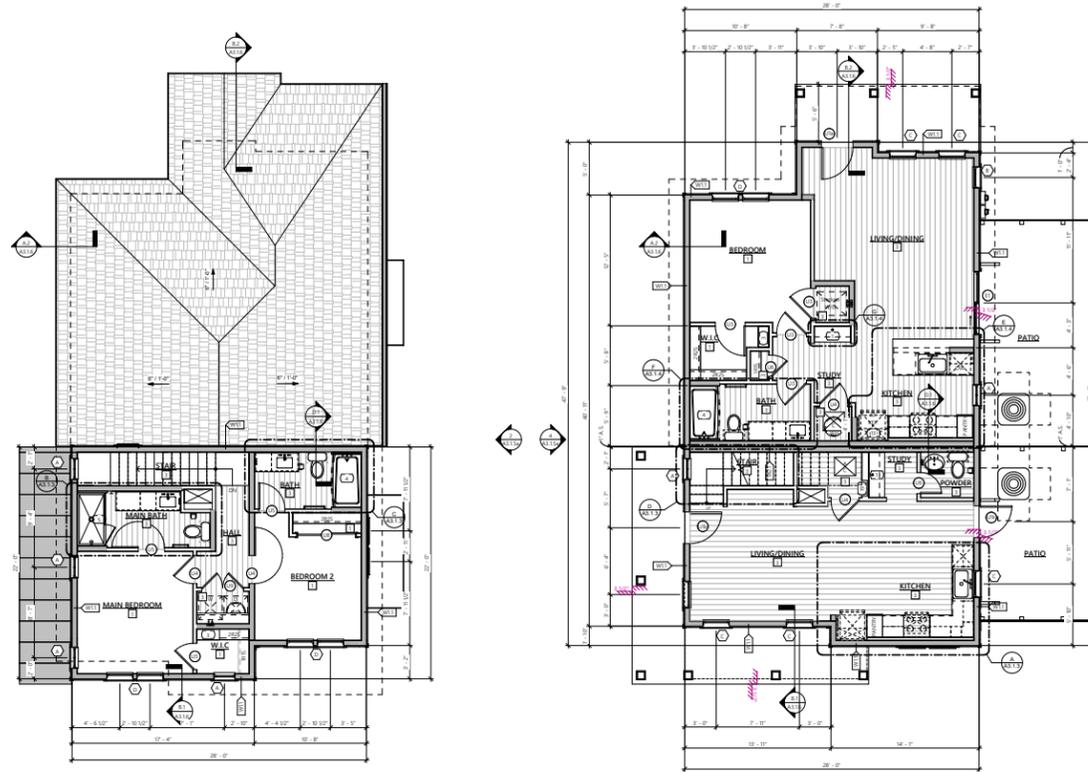
Review for compliance with these design standards is conducted by the Design Review Commission, or the Planning Commission if the City has designated the Planning Commission the role of Design Review Commission.

The Design Review Commission may modify any of these design standards for a development under review, including a determination that a design standard may be waived in its entirety.

a) Windows, entrances, porches, or other architectural features on habitable structures are required on all street-facing facades to avoid the appearance of blank walls. This requirement does not apply to garage facades.

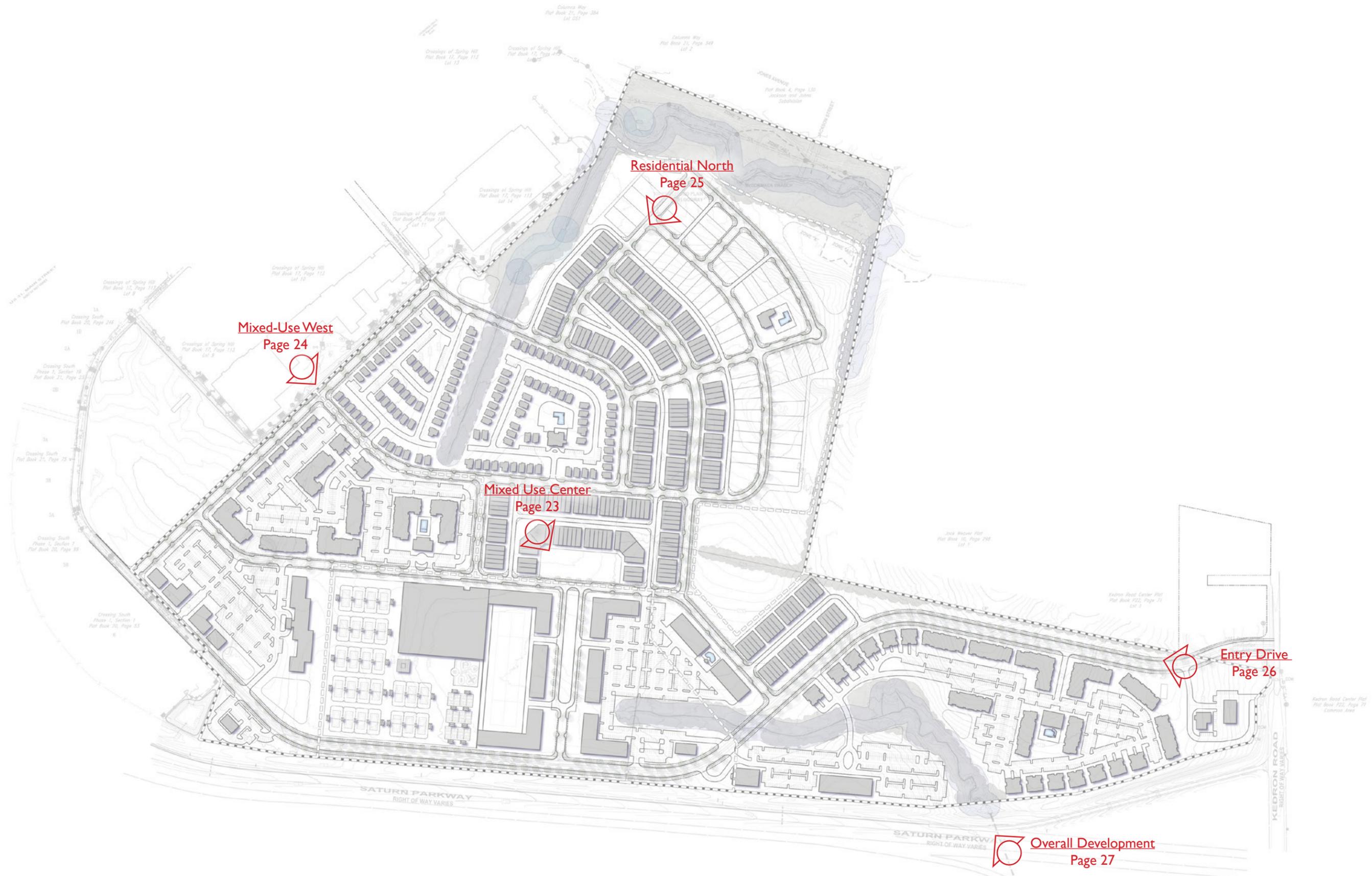
b) Concrete block foundations on a two-family home must be covered with a permanent durable material, such as brick, stone, or split face block.

Conceptual Floorplans for Duplex (Front to back: Fronting public road/private drive and fronting Open Space)



Conceptual Layout Example for Duplex (Front to back: Fronting public road/private drive and fronting Open Space)











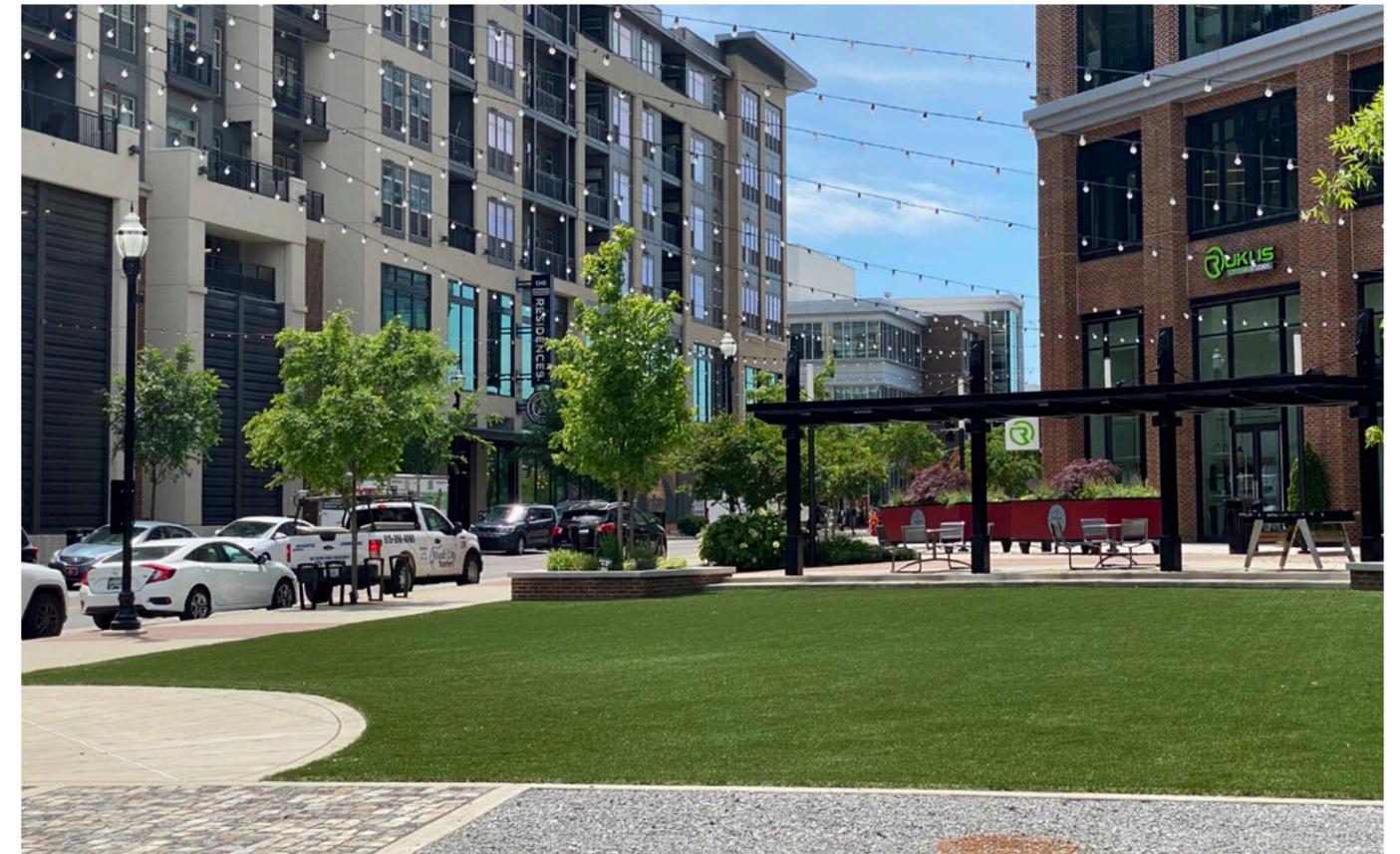




USTA FACILITY



MIXED - USE CENTER

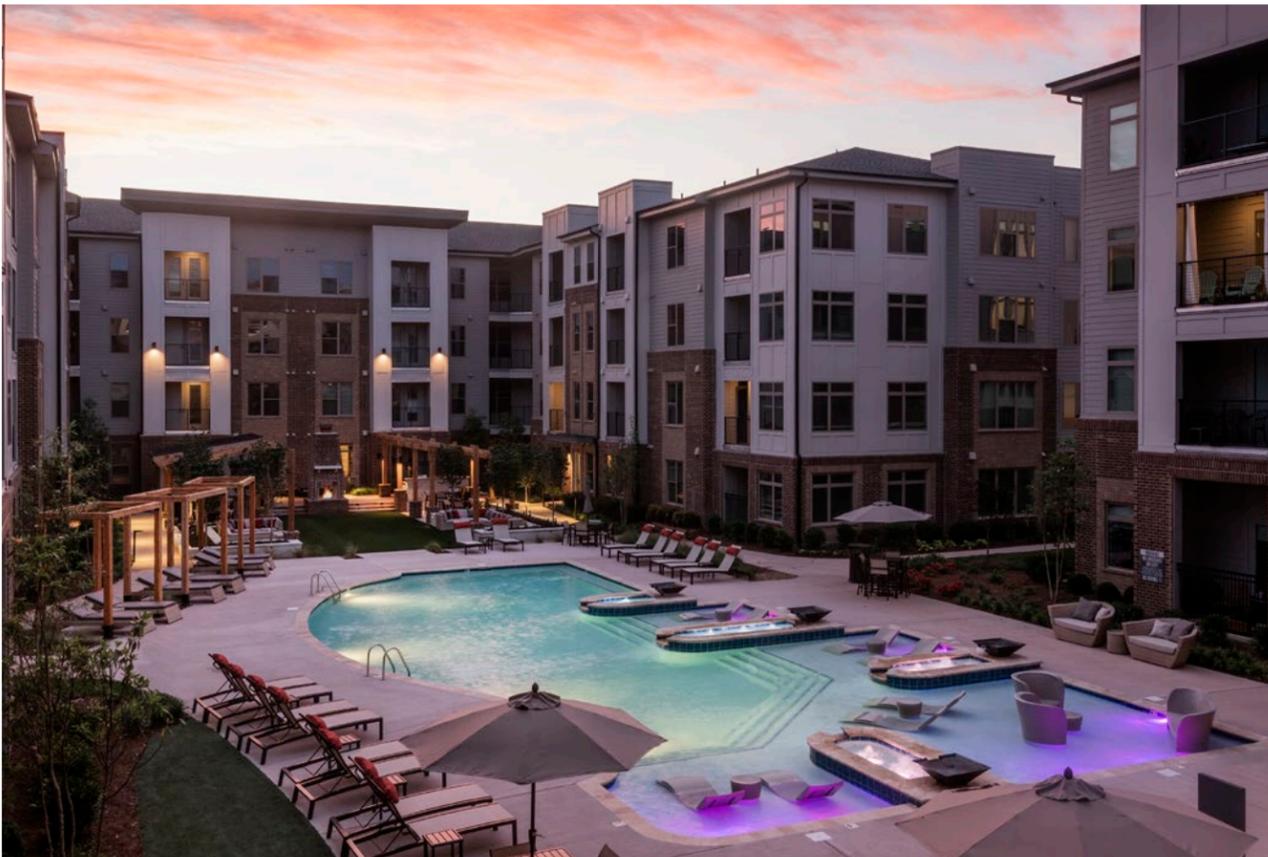


ARCHITECTURAL CHARACTER

MIXED-USE



MULTI - FAMILY



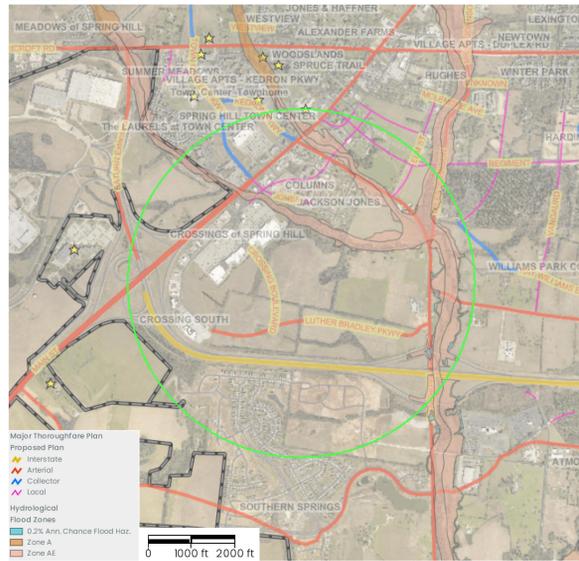
RESIDENTIAL (SINGLE-FAMILY, TOWNHOMES, DUPLEX)



RESIDENTIAL (SINGLE-FAMILY, TOWNHOMES, DUPLEX)



VICINITY MAP



SPRING HILL CROSSINGS PLANNED DEVELOPMENT

SPRING HILL, MAURY COUNTY, TENNESSEE



SITE DATA CHART

PROJECT NAME:	SPRING HILL CROSSINGS
PROJECT NUMBER:	
ADDRESS:	
PARCEL(S):	028---01600 028---01900
ACREAGE / SF OF SITE:	213.10 AC
EXISTING IMPERVIOUS SITE COVERAGE:	0%
PROPOSED IMPERVIOUS SITE COVERAGE:	NOT TO EXCEED 80%
BASE ZONING:	C-5 & I-1
PROPOSED ZONING:	PD (BASE ZONING OF C-5 FOR ENTIRE PROPERTY)
COMPREHENSIVE LAND PLAN:	COMMUNITY COMMERCE AREA
UNIFIED DEVELOPMENT CODE:	11-15-2021

SHEET INDEX

- C0.0 Cover
- P1.0 Overall Existing Conditions
- P1.1 Existing Conditions Enlargement
- P1.2 Existing Conditions Enlargement
- P1.3 Existing Conditions Enlargement
- P2.0 Overall Concept Plan
- P2.1 Concept Plan Enlargement
- P2.2 Concept Plan Enlargement
- P2.3 Concept Plan Enlargement
- P2.4 Concept Plan Enlargement
- P3.0 Overall Phasing Plan
- C1.0 Master Utility Sheet
- C1.0 Utility Sheet
- C1.1 Utility Sheet
- C1.2 Utility Sheet
- C1.3 Utility Sheet
- C1.4 Utility Sheet
- C1.5 Utility Sheet
- C1.6 Utility Sheet
- C1.7 Utility Sheet
- C1.8 Utility Sheet
- C1.9 Utility Sheet
- C1.10 Utility Sheet
- C1.11 Utility Sheet
- C1.12 Utility Sheet
- C0.2 Master Grading & Drainage Plan
- C2.0 Grading & Drainage Plan
- C2.1 Grading & Drainage Plan
- C2.2 Grading & Drainage Plan
- C2.3 Grading & Drainage Plan
- C2.4 Grading & Drainage Plan
- C2.5 Grading & Drainage Plan
- C2.6 Grading & Drainage Plan
- C2.7 Grading & Drainage Plan
- C2.8 Grading & Drainage Plan
- C2.9 Grading & Drainage Plan
- C2.10 Grading & Drainage Plan
- C2.11 Grading & Drainage Plan
- C2.12 Grading & Drainage Plan
- C3.0 Road Profiles
- C3.1 Road Profiles
- C3.2 Road Profiles
- C3.3 Road Profiles
- C3.4 Road Profiles
- C3.5 Road Profiles
- C3.6 Road Profiles
- C3.7 Road Profiles
- C3.8 Road Profiles
- C3.9 Road Profiles
- C3.10 Road Profiles
- C3.11 Road Profiles
- C3.12 Road Profiles
- C3.13 Road Profiles
- C3.14 Road Profiles
- C3.15 Road Profiles
- C3.16 Road Profiles
- C3.17 Stream Profiles
- C0.3 Master Access Plan
- C0.4 Master Access Plan
- C0.5 Master Fire Hydrant Spacing
- L1.0 Tree Preservation
- L2.0 Street Tree Plan
- L3.0 Amenities Plan

APPLICANT & LANDSCAPE ARCHITECT:
 GAMBLE DESIGN COLLABORATIVE
 CONTACT: GREG GAMBLE
 3020 STANSBERRY LANE, SUITE 201
 FRANKLIN, TN
 (615) 975-5765
 greg.gamble@gdc-tn.com

CIVIL ENGINEER:
 SITE ENGINEERING CONSULTANTS
 CONTACT: MATT TAYLOR
 850 MIDDLE TN BLVD
 MURFREESBORO, TN 37129
 (615) 890-7901

DEVELOPER:
 SOUTHSTAR
 CONTACT: RALPH KNAUSS
 1620 WESTGATE CIRCLE SUITE 170
 BRENTWOOD, TENNESSEE 37027
 (615) 472-8916

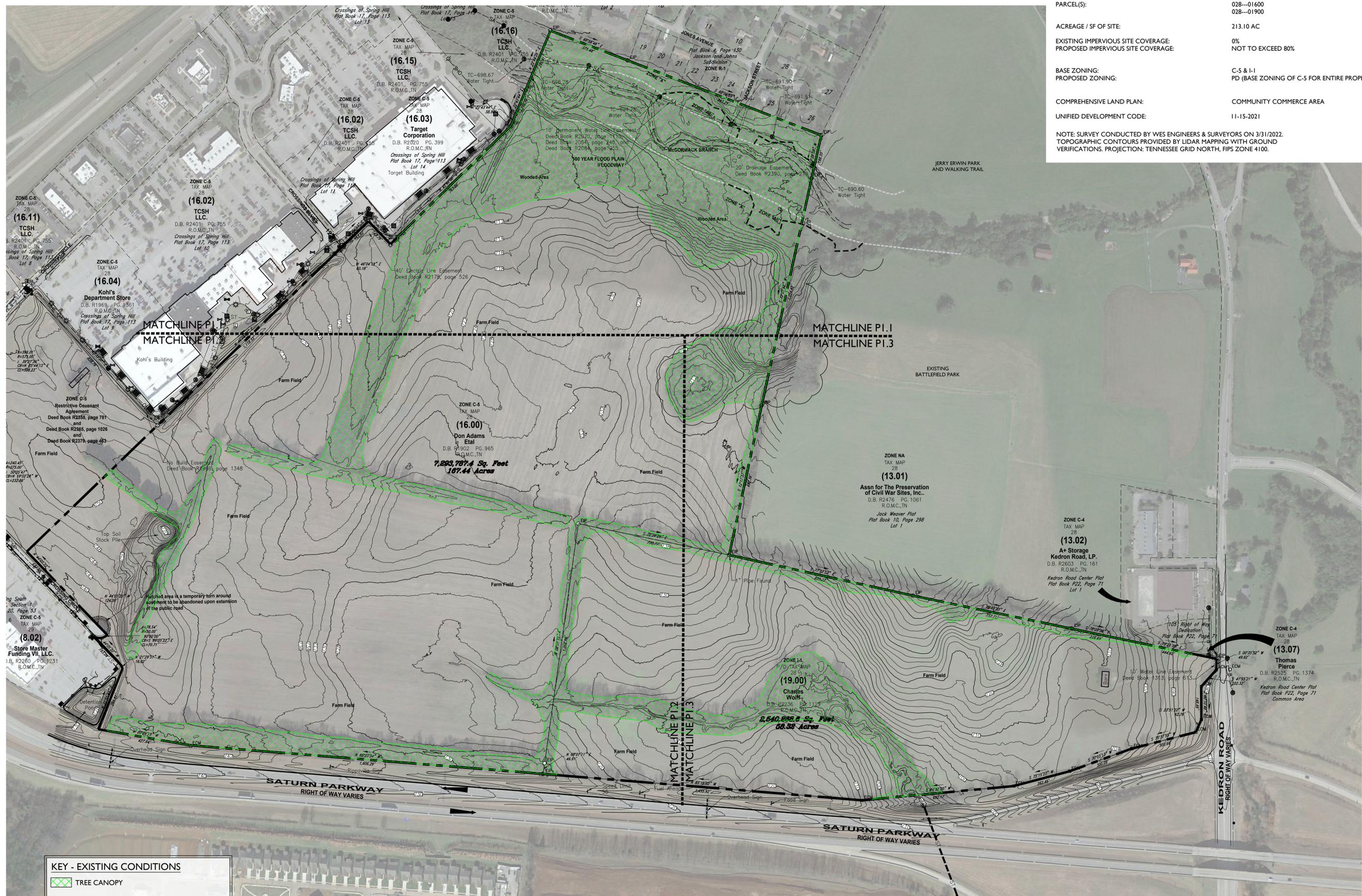
SUBMITTAL: 10/31/2022



DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE
 www.gdc-tn.com

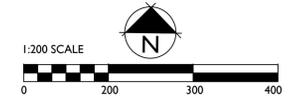
SITE DATA CHART

PROJECT NAME:	SPRING HILL CROSSINGS
PROJECT NUMBER:	
ADDRESS:	028--01600
PARCEL(S):	028--01900
ACREAGE / SF OF SITE:	213.10 AC
EXISTING IMPERVIOUS SITE COVERAGE:	0%
PROPOSED IMPERVIOUS SITE COVERAGE:	NOT TO EXCEED 80%
BASE ZONING:	C-5 & I-1
PROPOSED ZONING:	PD (BASE ZONING OF C-5 FOR ENTIRE PROPERTY)
COMPREHENSIVE LAND PLAN:	COMMUNITY COMMERCE AREA
UNIFIED DEVELOPMENT CODE:	11-15-2021
NOTE: SURVEY CONDUCTED BY WES ENGINEERS & SURVEYORS ON 3/31/2022. TOPOGRAPHIC CONTOURS PROVIDED BY LIDAR MAPPING WITH GROUND VERIFICATIONS. PROJECTION: TENNESSEE GRID NORTH, FIPS ZONE 4100.	



KEY - EXISTING CONDITIONS

- TREE CANOPY
- STREAM & STREAM BUFFER
- POTENTIAL WETLAND & BUFFER
- OPEN WATER

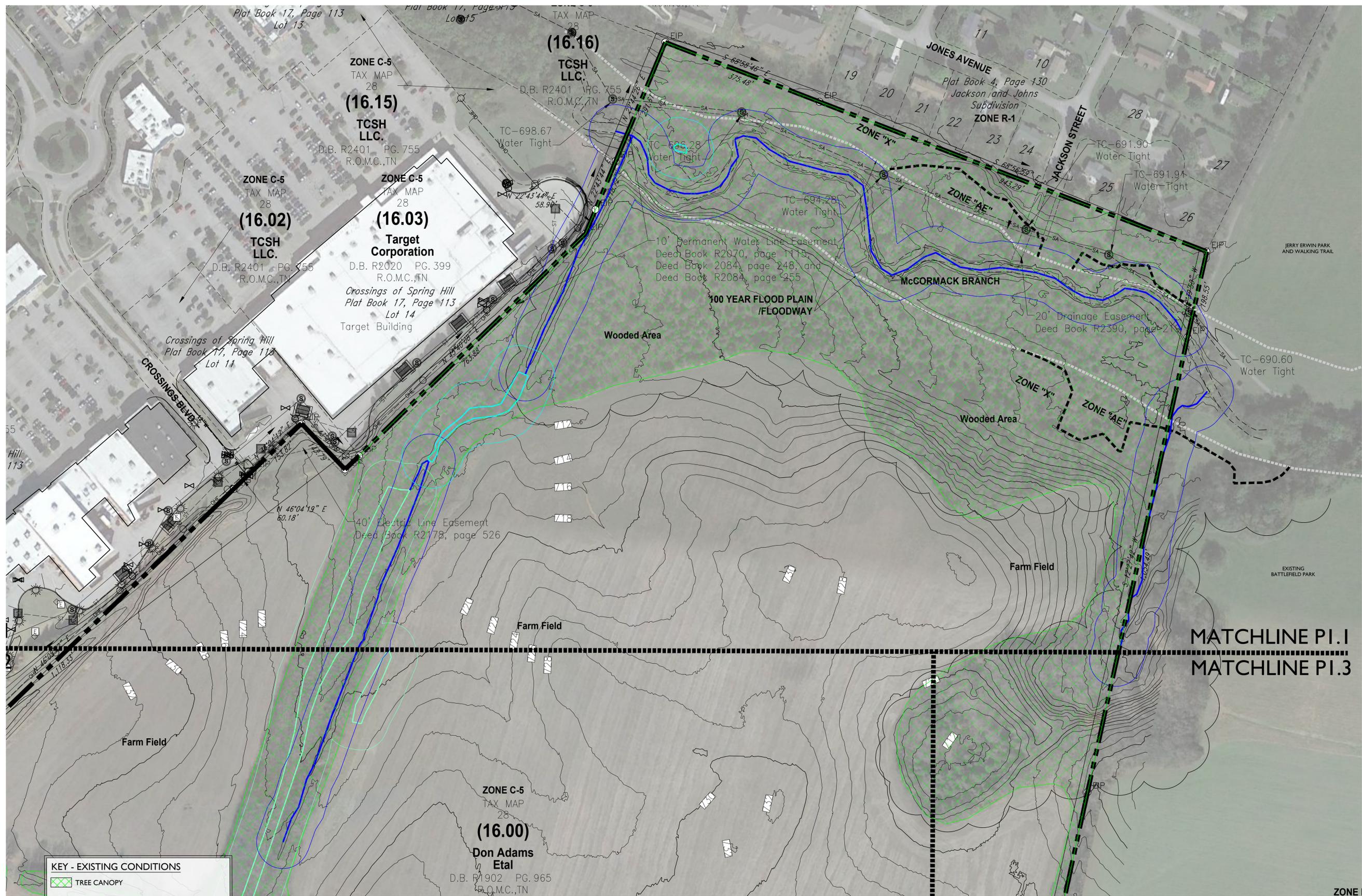


SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



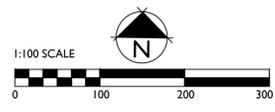
Submission Date: 10.31.2022

Revision Date:



KEY - EXISTING CONDITIONS

- TREE CANOPY
- STREAM & STREAM BUFFER
- POTENTIAL WETLAND & BUFFER
- OPEN WATER



Submittal Date: 10.31.2022

Revision	Date



Kohl's Department Store
 D.B. R1969 PG. 1361
 R.O.M.C., TN
Crossings of Spring Hill
 Plat Book 17, Page 113
 Lot 9

MATCHLINE PI.1
MATCHLINE PI.2

ZONE C-5
 Restrictive Covenant Agreement
 Deed Book R2358, page 781 and
 Deed Book R2365, page 1026 and
 Deed Book R2379, page 463

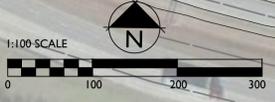
ZONE C-5
 TAX MAP 28
(16.00)
Don Adams Etal
 D.B. R1902 PG. 965
 R.O.M.C., TN
7,293,787.4 Sq. Feet
167.44 Acres

Hatched area is a temporary turn around easement to be abandoned upon extension of the public road

ZONE C-5
 TAX MAP 29
(8.02)
Store Master Funding VII, LLC.
 D.B. R2260 PG. 1231
 R.O.M.C., TN

KEY - EXISTING CONDITIONS

	TREE CANOPY
	STREAM & STREAM BUFFER
	POTENTIAL WETLAND & BUFFER
	OPEN WATER



SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee

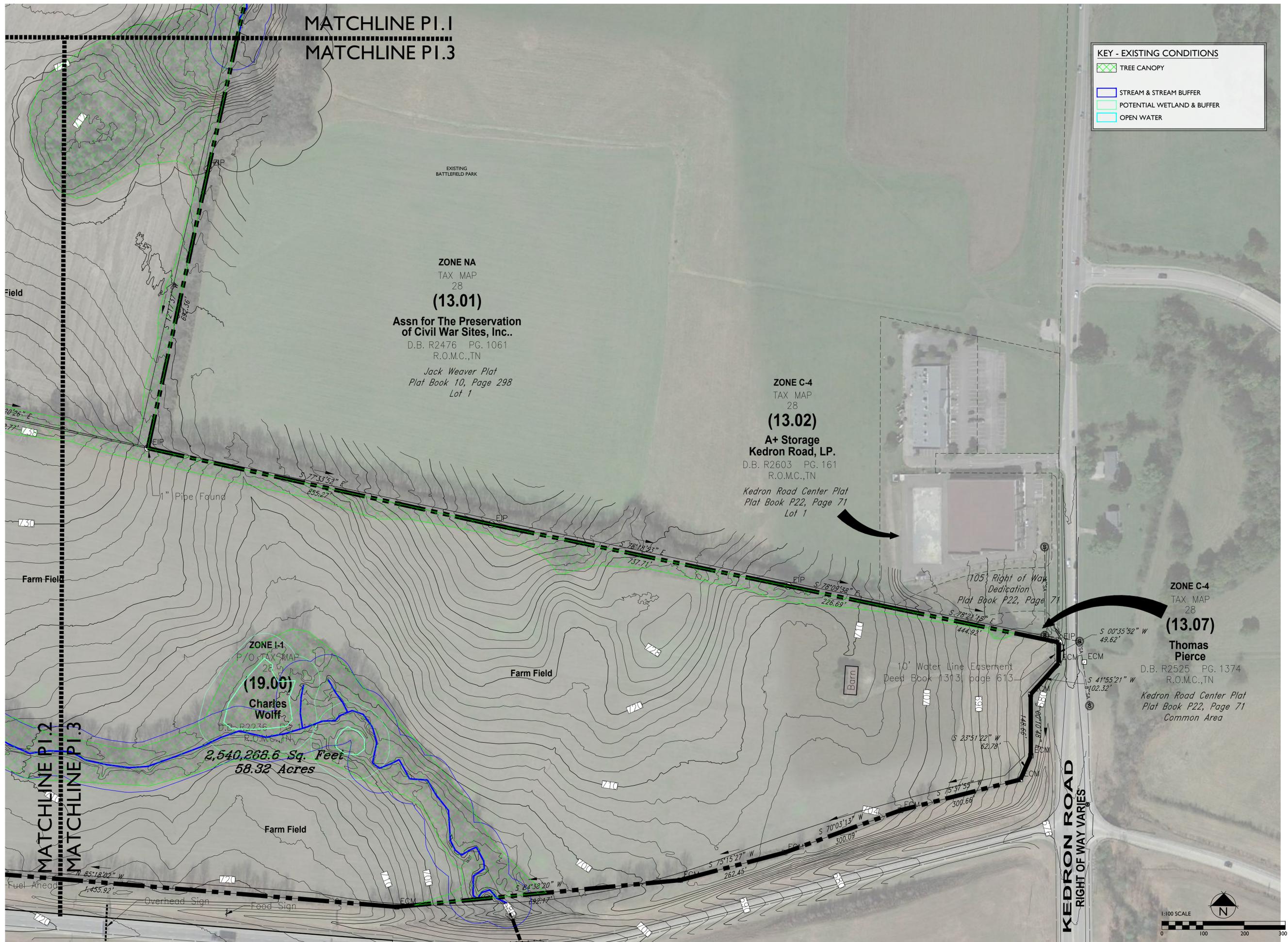


Submitted Date: 10.31.2022
 Revision Date: _____

OVERALL EXISTING CONDITIONS
 SHEET
PI.2
 PROJECT # XXXX

KEY - EXISTING CONDITIONS

- TREE CANOPY
- STREAM & STREAM BUFFER
- POTENTIAL WETLAND & BUFFER
- OPEN WATER



MATCHLINE PI.1
MATCHLINE PI.3

ZONE NA
TAX MAP
28
(13.01)

**Assn for The Preservation
of Civil War Sites, Inc..**
D.B. R2476 PG. 1061
R.O.M.C.,TN
*Jack Weaver Plat
Plat Book 10, Page 298
Lot 1*

ZONE C-4
TAX MAP
28
(13.02)

**A+ Storage
Kedron Road, LP.**
D.B. R2603 PG. 161
R.O.M.C.,TN
*Kedron Road Center Plat
Plat Book P22, Page 71
Lot 1*

ZONE C-4
TAX MAP
28
(13.07)

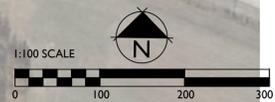
**Thomas
Pierce**
D.B. R2525 PG. 1374
R.O.M.C.,TN
*Kedron Road Center Plat
Plat Book P22, Page 71
Common Area*

ZONE I-1
P/O TAX MAP
28
(19.00)

**Charles
Wolff**
D.B. R2236 PG. 123
R.O.M.C.,TN
**2,540,268.6 Sq. Feet
58.32 Acres**

MATCHLINE PI.2
MATCHLINE PI.3

KEDRON ROAD
RIGHT OF WAY VARIES



Submitted Date: 10.31.2022
Revision Date

△
△
△

OVERALL EXISTING
CONDITIONS

SHEET
PI.3

PROJECT #
XXXX

Spring Hill Crossings Bulk Standards - Residential

Land Use	Lot Area (Minimum)	Lot Width (Minimum)	Maximum Attached Units	Maximum Building Length - Multi-Family Structure	Rear Yard (Minimum)	Interior Side Setback (Minimum)	Side Yard (Minimum)	Front - Arterial	Front - Collector	Front - Local	Max Height
Residential Use (Based on R-4 Standards)											
Dwelling - Multi-Family (Apartment)	0'	N/A	N/A	200'	10'	10'	10'	N/A	10'	10'	4 Stories or 70'
Dwelling - Townhome	2,000 SF	30'	4	N/A	50'	0'	0'	N/A	30'	10'	4 Stories or 70'
Dwelling - Townhome (Condo)	0'	30'	N/A	N/A	50'	0'	0'	N/A	N/A	10'	4 Stories or 70'
Dwelling - Single-Family	7,000 SF	30'	N/A	N/A	50'	5'	5'	N/A	N/A	10'	2 Stories or 40'
Dwelling - Townhome (Garden Condo)	0'	N/A	N/A	N/A	10'	5'	5'	N/A	N/A	10'	2 Stories or 40'

Note: These standards apply to the siting of all multi-family structures in Residential Development.

Spring Hill Crossings Bulk Standards - Commercial

Land Use	Lot Area (Minimum)	Lot Width (Minimum)	Rear Yard (Minimum)	Side Yard (Minimum)	Front - Arterial	Front - Collector	Front - Local	Setback To Line	Max Height
Commercial Use									
Professional Commercial, Residential Office	N/A	N/A	50'	10'	10'	10'	10'	N/A	6 Stories or 100'
Restaurant (Standard)	N/A	N/A	50'	10'	10'	10'	10'	N/A	5 Stories or 80'
Office	N/A	N/A	50'	10'	10'	10'	10'	N/A	4 Stories or 70'
Commercial (Standard)	N/A	N/A	50'	10'	10'	10'	10'	N/A	3 Stories or 40'
Small Retail Building	N/A	N/A	0'	0'	0'	0'	0'	N/A	2 Stories or 40'

Note: These standards apply to the siting of all commercial structures in Commercial Development.

Land Use	Spring Hill		Weekend Base Ratio	Weekend Base Ratio	Weekend Base Ratio	Weekend Base Ratio
	Base Ratio	Base Ratio				
Retail	5 spaces / 1000 SF + 1 space / 2 employees	3.6 spaces / 1000 SF	4.0 spaces / 1000 SF			
Restaurant	1 space / 100 SF (1 space / 150 SF)* *with outdoor seating area	14.4 spaces / 1000 SF	14.7 spaces / 1000 SF			
Office	1 space / employee + 1 space / 300 SF	3.25 spaces / 1000 SF				
Hotel	+ 1 space / 3 employees	1.15 spaces / room	1.15 spaces / room			
Single-Family	2 spaces / unit	N/A	N/A			
Multi-Family	2 spaces / unit	N/A	Spring Hill ratio used			
Multi-Family Studio		0.95 spaces / unit	1.0 spaces / unit			
Multi-Family 1 BR		1.00 spaces / unit	1.05 spaces / unit			
Multi-Family 2 BR		1.25 spaces / unit	1.35 spaces / unit			
Multi-Family 3 BR		2.45 spaces / unit	2.65 spaces / unit			
Racquet/Tennis Club		N/A	N/A	1.34 spaces / 1000 SF (Ratio includes 50% increase from ITE standard to account for USTA employees present during the week)	4.81 spaces / 1000 SF	
Mini Warehouse (Self Storage)	1 space / 300 SF office 1 space / 20,000 SF warehouse	N/A	N/A	0.1 spaces / 1000 SF	0.09 spaces / 1000 SF	

SITE DATA CHART

PROJECT NAME:	SPRING HILL CROSSINGS
PROJECT NUMBER:	028--01600
ADDRESS:	028--01900
PARCEL(S):	
ACREAGE / SF OF SITE:	213.10 AC
EXISTING IMPERVIOUS SITE COVERAGE:	0%
PROPOSED IMPERVIOUS SITE COVERAGE:	NOT TO EXCEED 80%
BASE ZONING:	C-5 & I-1
PROPOSED ZONING:	PD (BASE ZONING OF C-5 FOR ENTIRE PROPERTY)
COMPREHENSIVE LAND PLAN:	COMMUNITY COMMERCE AREA
UNIFIED DEVELOPMENT CODE:	11-15-2021

PRELIMINARY PLAN ENTITLEMENT

Current Zoning: C-5 & I-1
New Base Zoning: C-5

Site Area: 213.1 AC
Density: Shall not exceed 10 DUA (For entire development)

Entitlement Summary		
136,000	SF	USTA REGIONAL HQ / TENNIS CENTER
600,000	SF	COMMERCIAL
1,000	Keys	HOTEL
2,130	Residences	TOTAL RESIDENTIAL

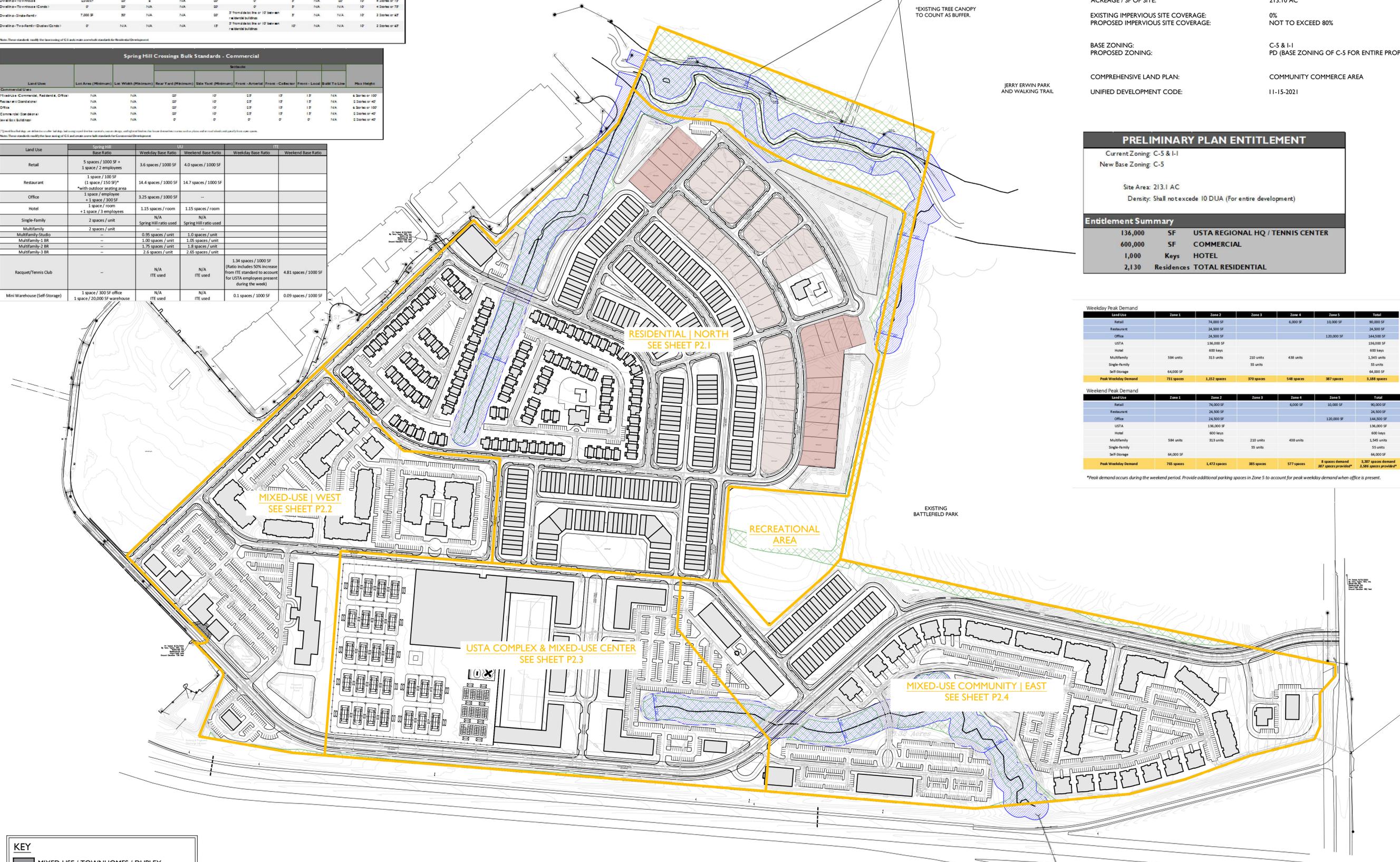
Weekday Peak Demand

Land Use	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Total
Hotel		74,000 SF		6,000 SF	10,000 SF	90,000 SF
Restaurant		24,500 SF				24,500 SF
Office		24,500 SF			120,000 SF	144,500 SF
USTA		136,000 SF				136,000 SF
Hotel		600 keys				600 keys
Multi-Family	594 units	93 units	230 units	438 units		1,354 units
Single-Family					55 units	55 units
Self-Storage	64,000 SF					64,000 SF
Peak Weekday Demand	731 spaces	1,352 spaces	370 spaces	548 spaces	387 spaces	3,388 spaces

Weekend Peak Demand

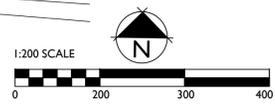
Land Use	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Total
Hotel		74,000 SF		6,000 SF	10,000 SF	90,000 SF
Restaurant		24,500 SF				24,500 SF
Office		24,500 SF			120,000 SF	144,500 SF
USTA		136,000 SF				136,000 SF
Hotel		600 keys				600 keys
Multi-Family	594 units	93 units	230 units	438 units		1,354 units
Single-Family					55 units	55 units
Self-Storage	64,000 SF					64,000 SF
Peak Weekday Demand	750 spaces	1,472 spaces	385 spaces	577 spaces	8 spaces demand	3,287 spaces demand

*Peak demand occurs during the weekend period. Provide additional parking spaces in Zone 5 to account for peak weekday demand when office is present.



KEY

- MIXED-USE / TOWNHOMES / DUPLEX
- ALLEY-LOADED RESIDENCES
- FRONT-LOADED RESIDENCES
- PRESERVED TREE CANOPY
- STREAM & BUFFER



SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



Submittal Date: 10.31.2022
 Revision Date:

OVERALL CONCEPT
 PLAN
 SHEET
P2.0
 PROJECT #
 XXXX

**SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN**
 Spring Hill, Maury County, Tennessee

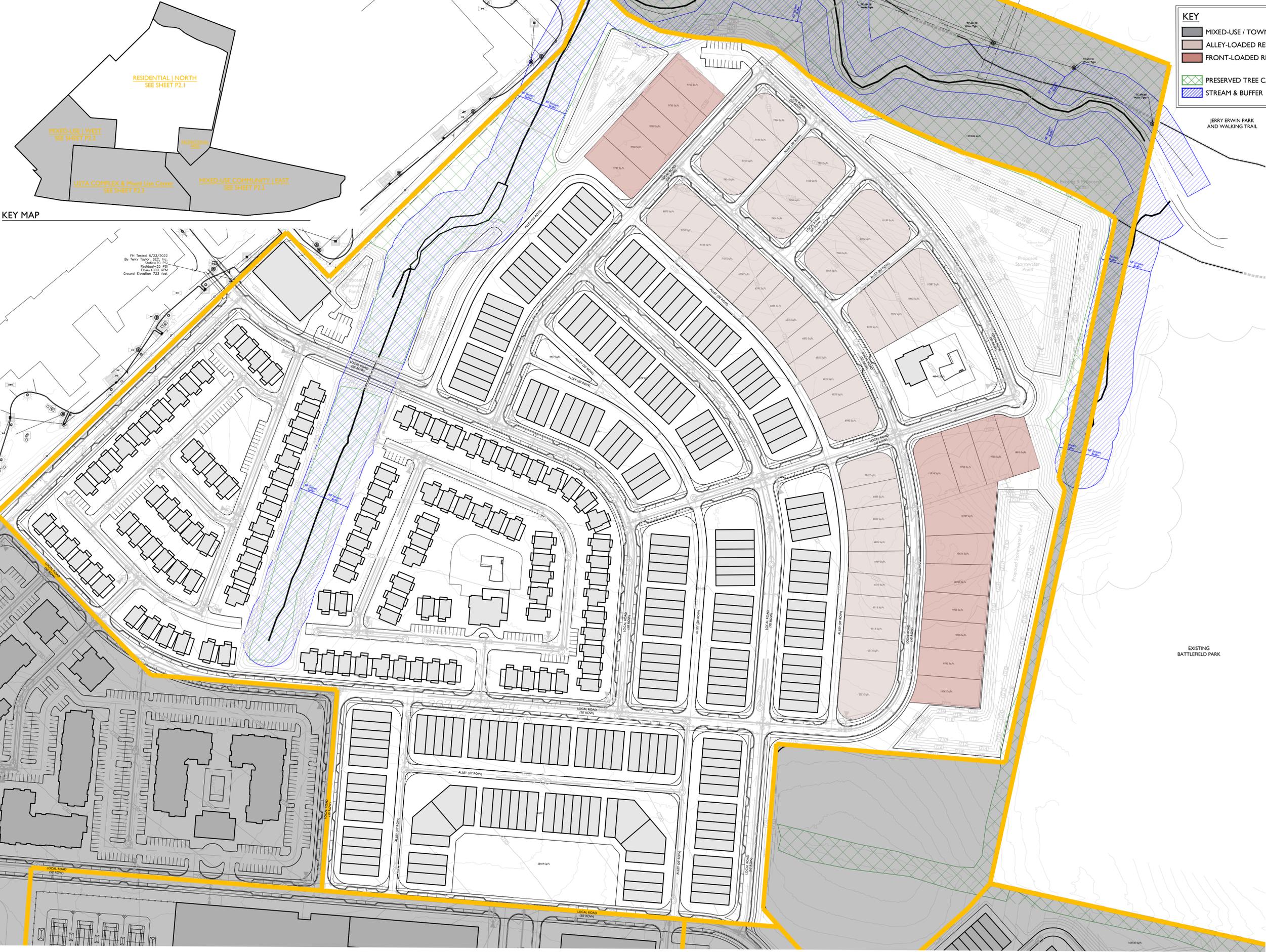


Submission Date: 10.31.2022
 Revision Date: _____

CONCEPT PLAN ENLARGEMENT
 SHEET
P2.1
 PROJECT #
 XXXX

KEY

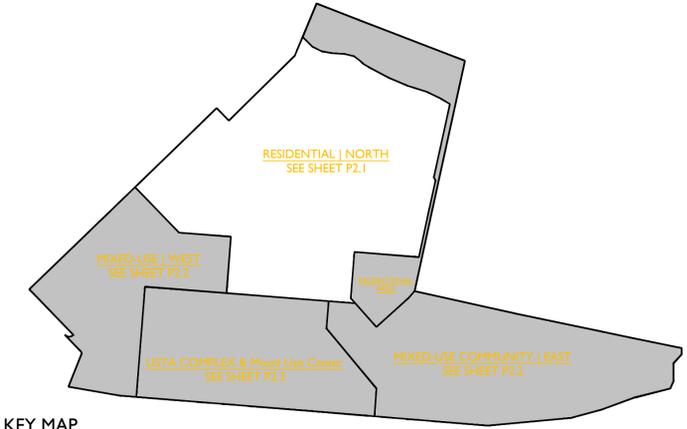
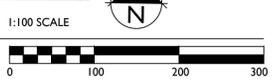
- MIXED-USE / TOWNHOMES / DUPLEX
- ALLEY-LOADED RESIDENCES
- FRONT-LOADED RESIDENCES
- PRESERVED TREE CANOPY
- STREAM & BUFFER

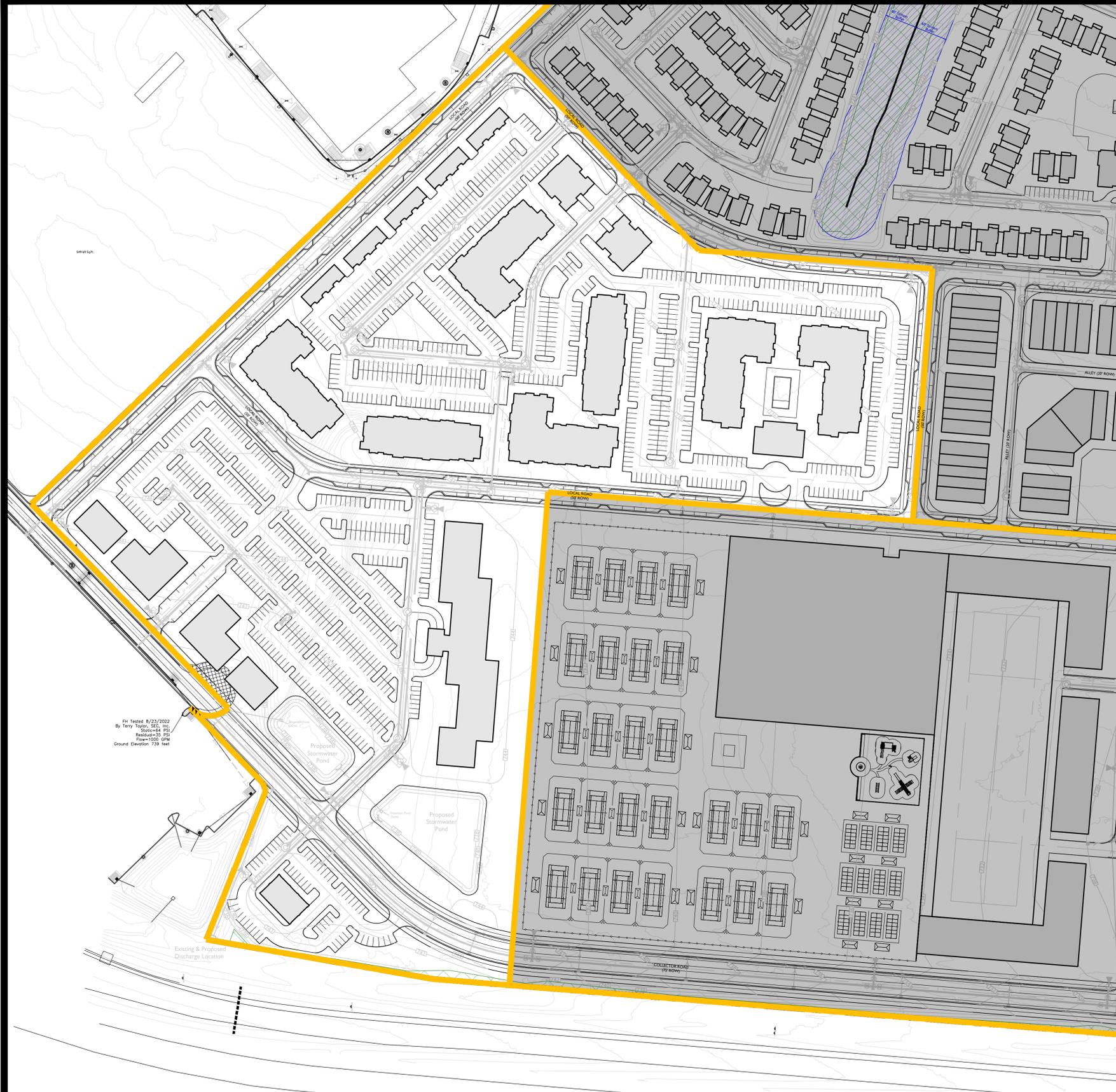


KEY MAP

FH Tested 8/23/2022
 By Terry Taylor, SEE, Inc.
 Scale=75 PSF
 Maximum=20 PSF
 Flow=1000 GPM
 Ground Elevation 723 feet

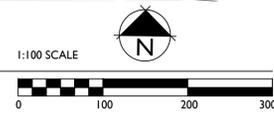
RESIDENTIAL | NORTH



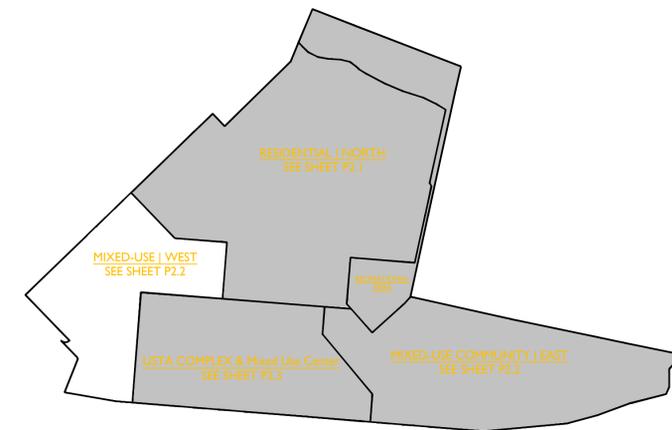


PH Tested: 8/23/2022
 By Terry Taylor, SLS, Inc.
 Station-44 PIS
 Station-50 PIS
 Flow=1000 GPM
 Ground Elevation 739 feet

MIXED-USE | WEST



KEY	
	MIXED-USE / TOWNHOMES / DUPLEX
	ALLEY-LOADED RESIDENCES
	FRONT-LOADED RESIDENCES
	PRESERVED TREE CANOPY
	STREAM & BUFFER



KEY MAP



DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



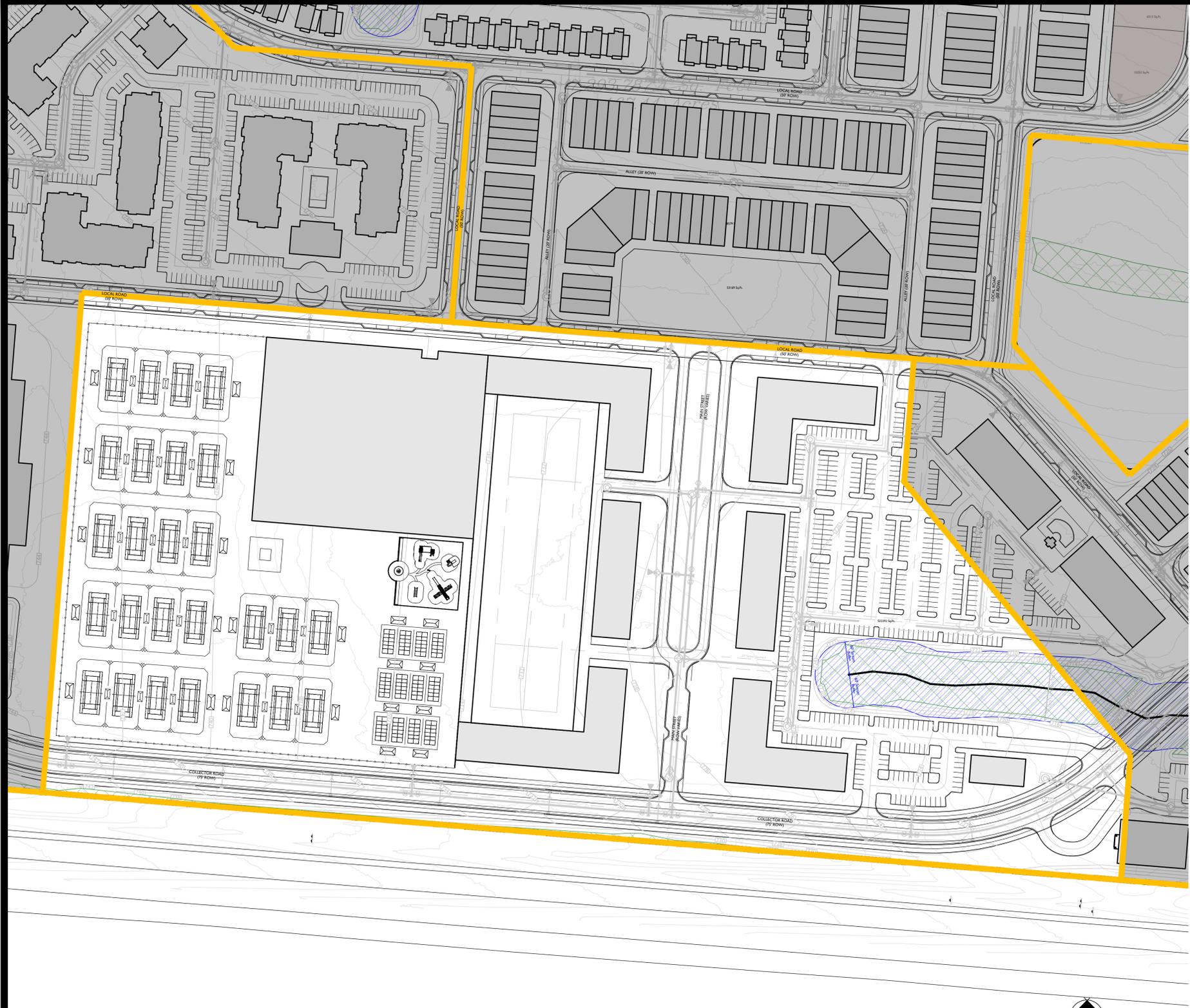
Submission Date: 10.31.2022
 Revision Date:

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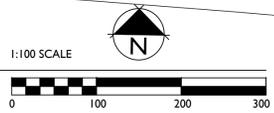
CONCEPT PLAN
ENLARGEMENT

SHEET
P2.2

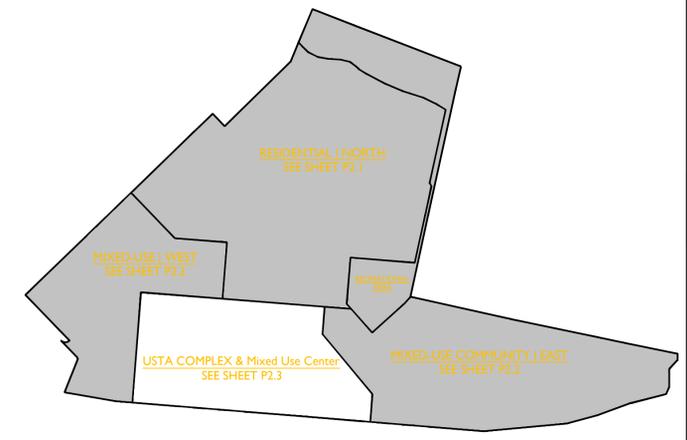
PROJECT #
XXXX



USTA & MIXED-USE CENTER



KEY	
	MIXED-USE / TOWNHOMES / DUPLEX
	ALLEY-LOADED RESIDENCES
	FRONT-LOADED RESIDENCES
	PRESERVED TREE CANOPY
	STREAM & BUFFER



KEY MAP



SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee

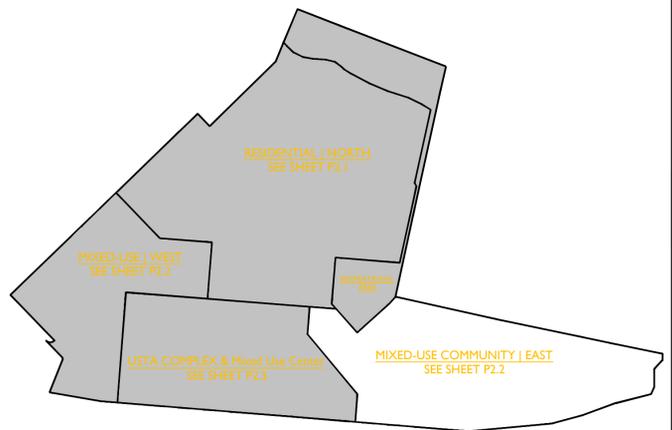


Submittal Date: 10.31.2022
 Revision Date: _____
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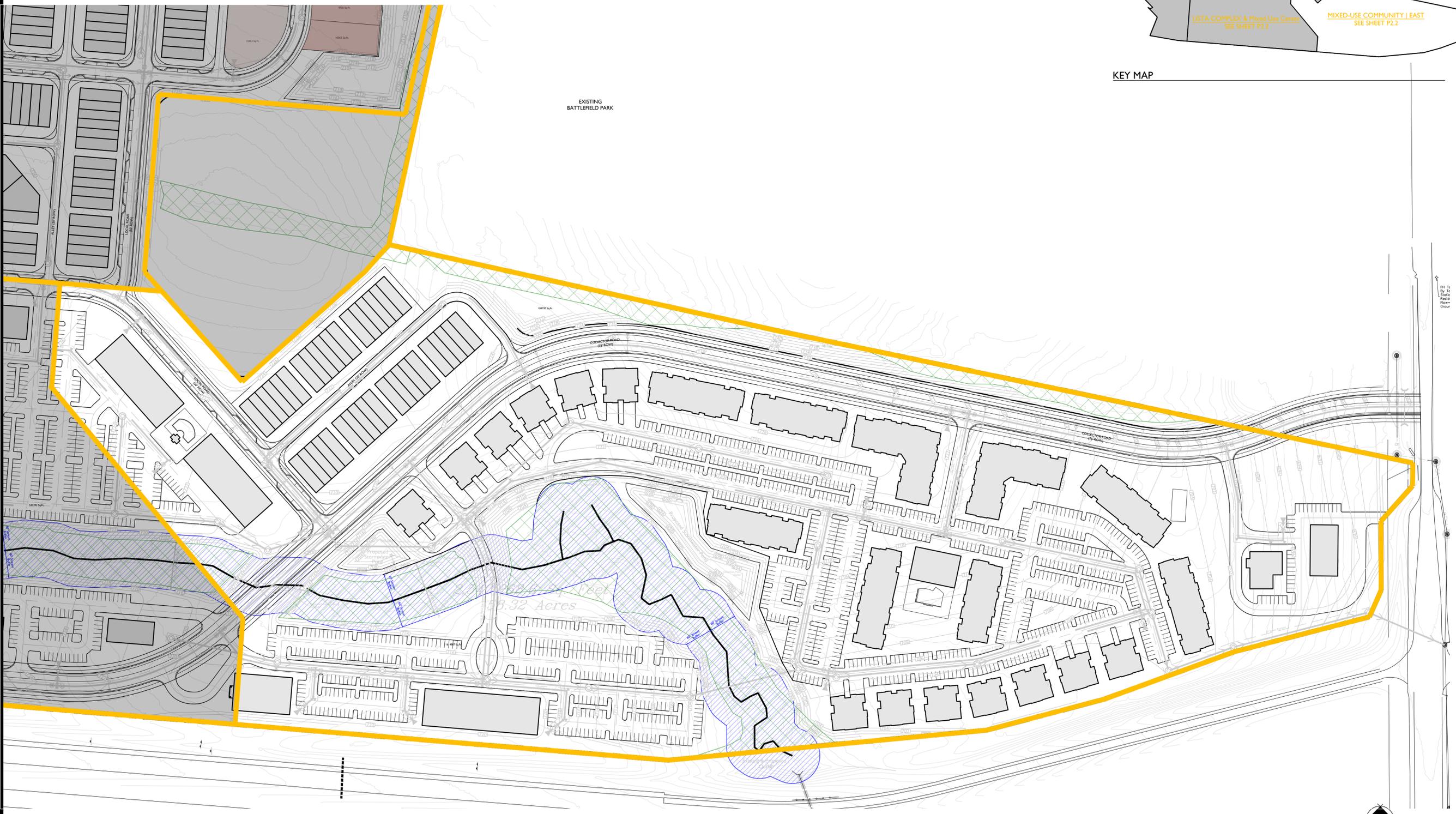
CONCEPT PLAN
 ENLARGEMENT
 SHEET
P2.3
 PROJECT #
 XXXX

KEY

- MIXED-USE / TOWNHOMES / DUPLEX
- ALLEY-LOADED RESIDENCES
- FRONT-LOADED RESIDENCES
- PRESERVED TREE CANOPY
- STREAM & BUFFER



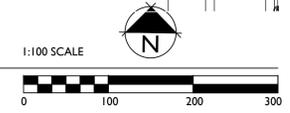
KEY MAP



EXISTING BATTLEFIELD PARK

5.32 Acres

MIXED-USE | EAST



SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



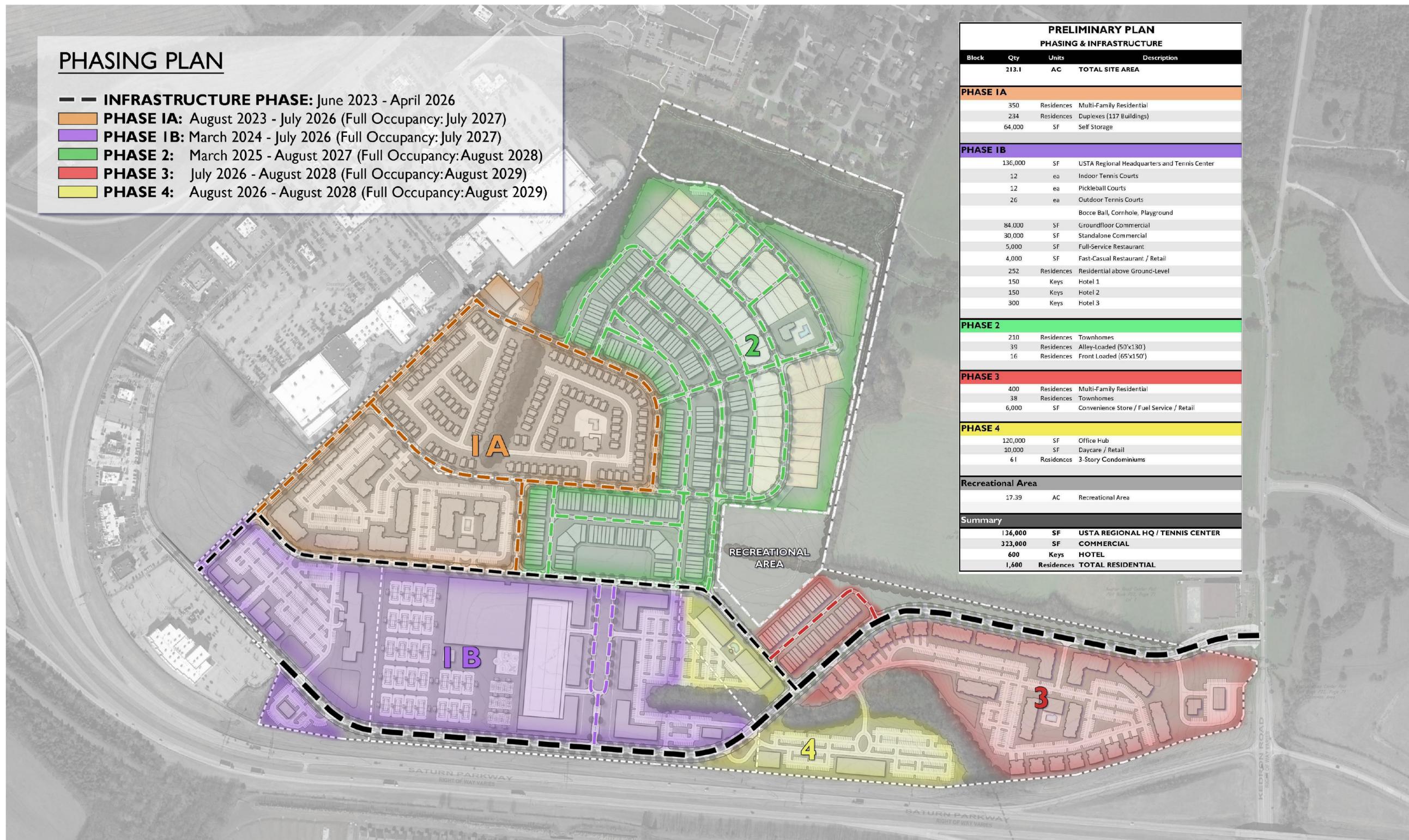
Submission Date: 10.31.2022

Revision	Date

CONCEPT PLAN ENLARGEMENT
SHEET
P2.4
PROJECT #
XXXX

PHASING PLAN

- INFRASTRUCTURE PHASE: June 2023 - April 2026
- PHASE IA: August 2023 - July 2026 (Full Occupancy: July 2027)
- PHASE IB: March 2024 - July 2026 (Full Occupancy: July 2027)
- PHASE 2: March 2025 - August 2027 (Full Occupancy: August 2028)
- PHASE 3: July 2026 - August 2028 (Full Occupancy: August 2029)
- PHASE 4: August 2026 - August 2028 (Full Occupancy: August 2029)



PRELIMINARY PLAN PHASING & INFRASTRUCTURE			
Block	Qty	Units	Description
	213.1	AC	TOTAL SITE AREA
PHASE IA			
	350	Residences	Multi-Family Residential
	234	Residences	Duplexes (117 Buildings)
	64,000	SF	Self Storage
PHASE IB			
	136,000	SF	USTA Regional Headquarters and Tennis Center
	12	ea	Indoor Tennis Courts
	12	ea	Pickleball Courts
	26	ea	Outdoor Tennis Courts
			Bocce Ball, Cornhole, Playground
	84,000	SF	Groundfloor Commercial
	30,000	SF	Standalone Commercial
	5,000	SF	Full-Service Restaurant
	4,000	SF	Fast-Casual Restaurant / Retail
	252	Residences	Residential above Ground-Level
	150	Keys	Hotel 1
	150	Keys	Hotel 2
	300	Keys	Hotel 3
PHASE 2			
	210	Residences	Townhomes
	39	Residences	Alley-Loaded (50'x130')
	16	Residences	Front Loaded (65'x150')
PHASE 3			
	400	Residences	Multi-Family Residential
	38	Residences	Townhomes
	6,000	SF	Convenience Store / Fuel Service / Retail
PHASE 4			
	120,000	SF	Office Hub
	10,000	SF	Daycare / Retail
	61	Residences	3-Story Condominiums
Recreational Area			
	17.39	AC	Recreational Area
Summary			
	136,000	SF	USTA REGIONAL HQ / TENNIS CENTER
	323,000	SF	COMMERCIAL
	600	Keys	HOTEL
	1,600	Residences	TOTAL RESIDENTIAL



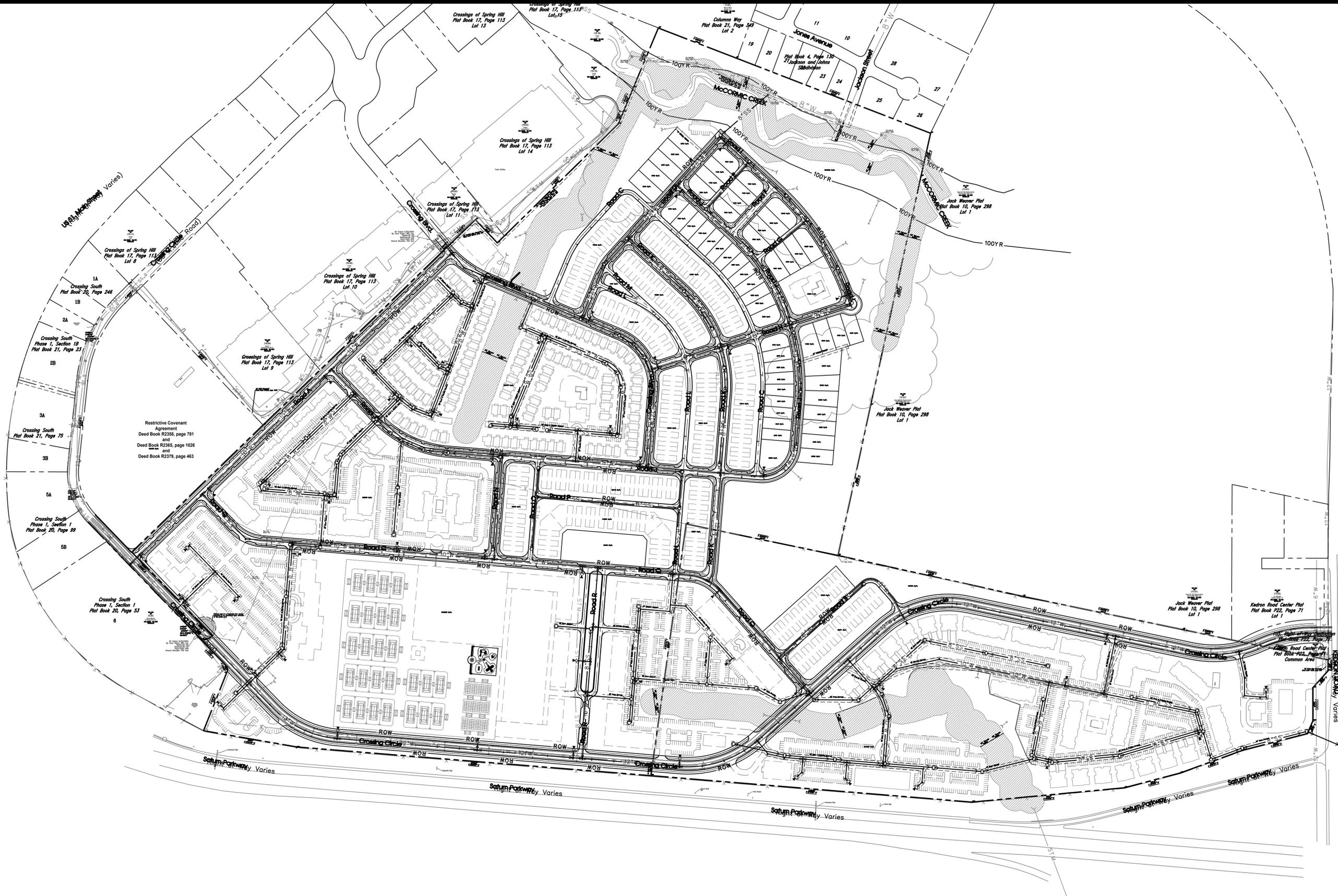
Submittal Date: 10.31.2022
Revision Date:

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△

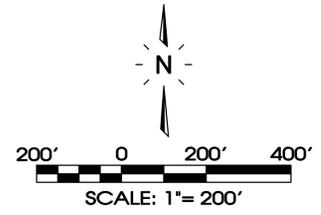


DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



Restrictive Covenant
Agreement
Deed Book R2358, page 781
and
Deed Book R2365, page 1028
and
Deed Book R2379, page 463



SEC, Inc.

SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
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Submission Date: 09.06.2022
Revision Date:

- △ 10-17-2022: Staff Comments
- △ 10-31-2022: PC Workshop Comments
- △

Master Utility Sheet

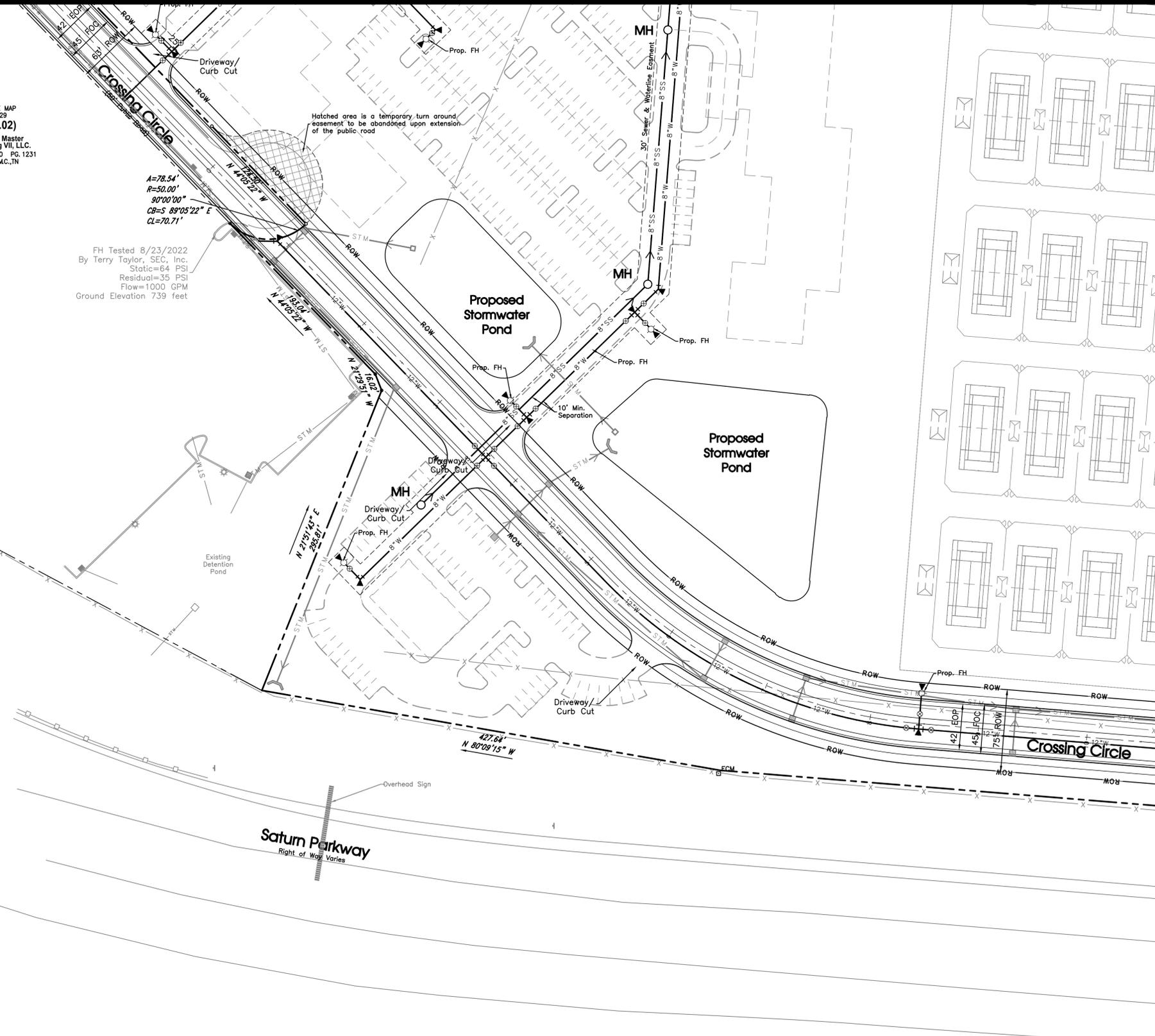
SHEET
C0.1
PROJECT #
22528

TAX MAP
29
(8.02)
Store Master
Funding VII, LLC.
D.B. R2260 PG. 1231
R.O.M.C., TN

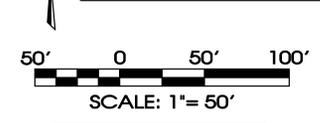
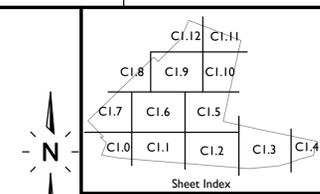
FH Tested 8/23/2022
By Terry Taylor, SEC, Inc.
Static=64 PSI
Residual=35 PSI
Flow=1000 GPM
Ground Elevation 739 feet

A=78.54'
R=50.00'
90°00'00"
CB-S 89°05'22" E
CL=70.71'

Hatched area is a temporary turn around easement to be abandoned upon extension of the public road



Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊖	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊗	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊖	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	⊗	RIP RAP
⊖	BENCHMARK	↗	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	↗	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	↗	TRAFFIC ARROW
⊖	CATCH BASIN	↗	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
⊖	GATE VALVE and BOX	⊖	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE - "U" HEADWALL
⊖	EXISTING PHONE	—	PH
⊖	EXISTING ELECTRIC	—	OH
⊖	PROPERTY LINE	—	
⊖	EASEMENTS	—	
⊖	RIGHT OF WAY	—	ROW
⊖	EROSION CONTROL SILT FENCE	—	SF SF
⊖	EXISTING TREELINE	—	
⊖	EXISTING FENCELINE	—	X X
⊖	MINIMUM BUILDING SETBACK LINE	—	MBSL
⊖	PHASE BOUNDARY	—	
⊖	EXISTING GAS LINE	—	GAS
⊖	PROPOSED GAS LINE	—	GAS
⊖	EXISTING STORM	—	STM
⊖	PROPOSED STORM	—	STM
⊖	EXISTING CONTOUR LINES	—	601
⊖	PROPOSED CONTOUR LINES	—	601
⊖	EXISTING SANITARY SEWER	—	SS SS
⊖	PROPOSED SANITARY SEWER	—	SS SS
⊖	EXISTING WATER	—	W W
⊖	PROPOSED WATER	—	W W
⊖	EROSION EEL	—	E E E



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Note:
A Duplex And Larger Shall Be Sprinkled.



DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

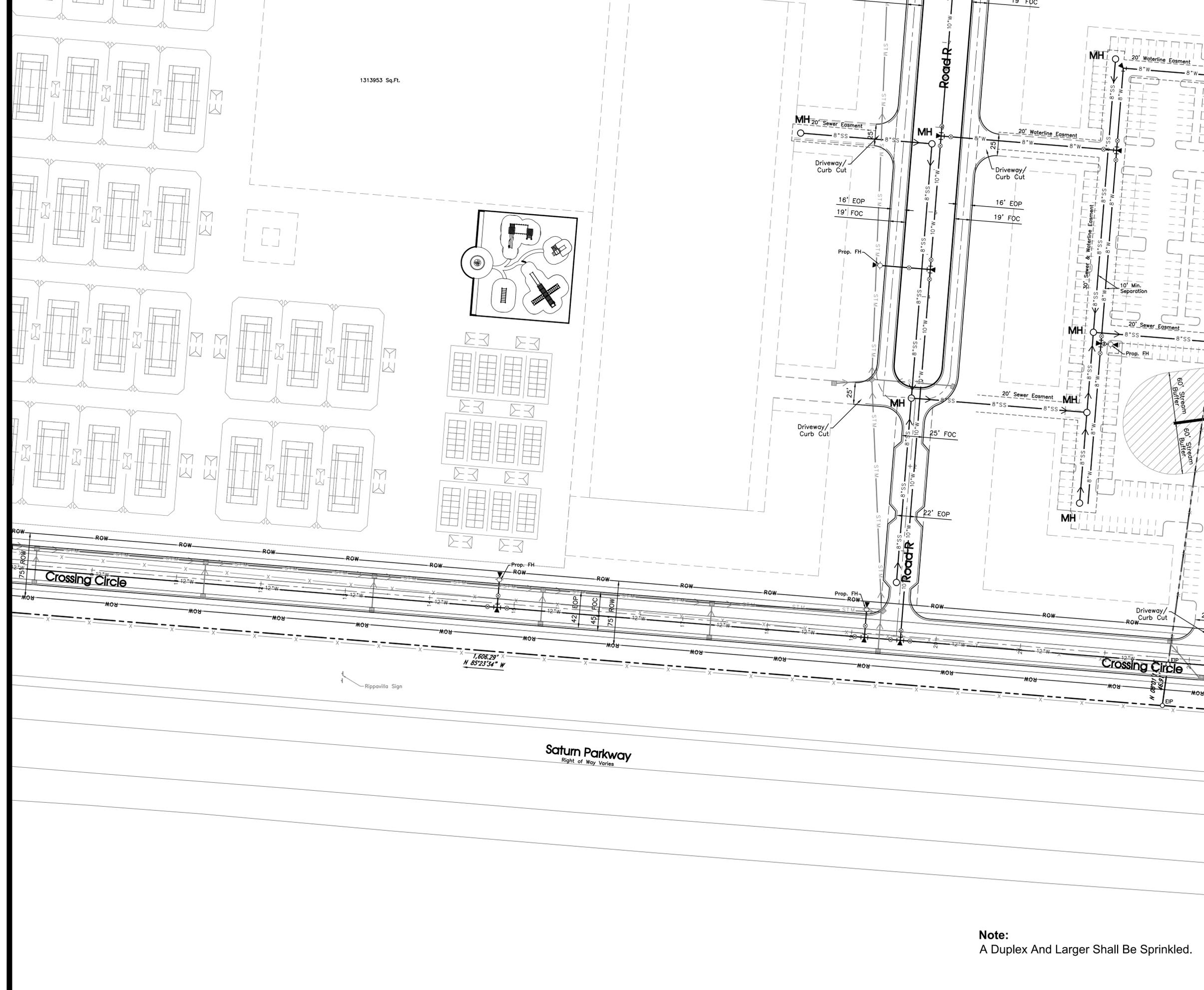
**SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN**
Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
Revision Date:
10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

Utility Sheet
**SHEET
C1.0**
PROJECT #
22528

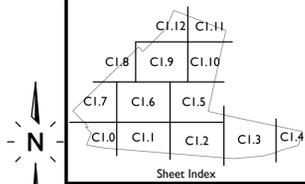
1313953 Sq.Ft.



Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	○	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25'	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25'	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	➔	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	➔	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	➔	TRAFFIC ARROW
⊕	CATCH BASIN	➔	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE and BOX	⊕	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE - "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



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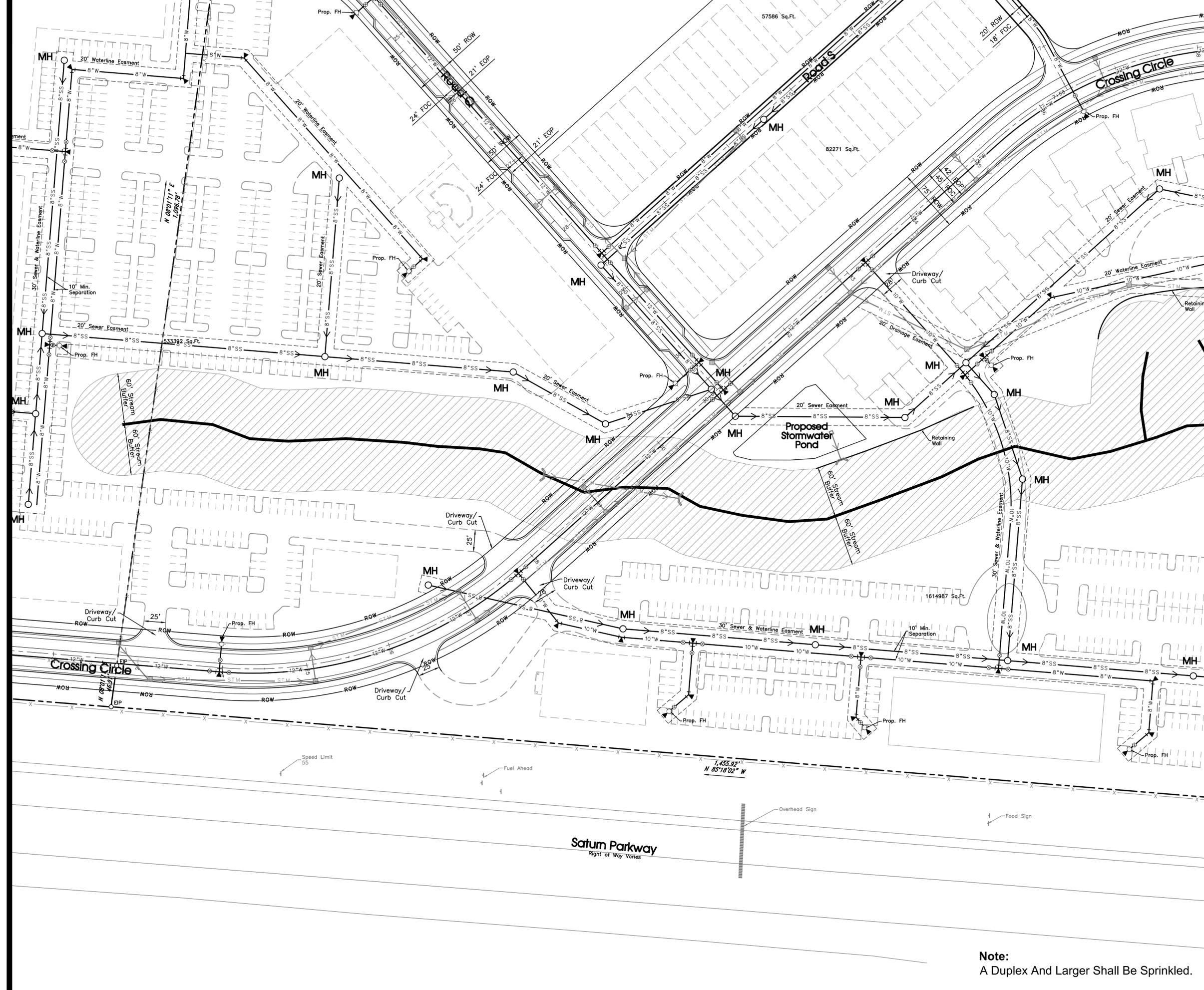


SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
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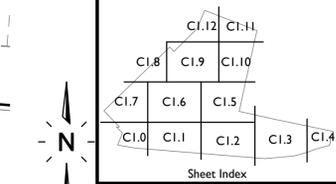
Utility Sheet
 SHEET
C1.1
 PROJECT #
 22528



Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	○	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
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⊖	EXIST. GAS RISER	○	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊖	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊖	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊖	RIP RAP
⊖	BENCHMARK	→	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	→	SEWER/STORM FLOW DIRECTION
•	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊖	CATCH BASIN	→	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
⊖	GATE VALVE and BOX	⊖	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE- "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



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**SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN**
 Spring Hill, Maury County, Tennessee



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Utility Sheet
 SHEET
C1.2
 PROJECT #
 22528

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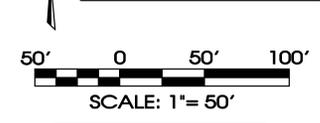
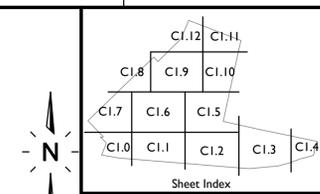
103720 Sq.Ft.

TAX MAP 28 (13.01)
Assn for The Preservation of Civil War Sites, Inc.
D.B. R2476 PG. 1061 R.O.M.C. TN
Jack Weaver Plat Plat Book 10, Page 298 Lot 1

Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25'	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25'	EXIST. SPOT ELEVATION
⊖	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊗	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊖	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊖	RIP RAP
⊖	BENCHMARK	→	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	>	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊖	CATCH BASIN	→	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	—	CONCRETE SIDEWALK
⊖	GAS METER	—	EXTRUDED CURB
⊖	GATE VALVE and BOX	—	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE - "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-601-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



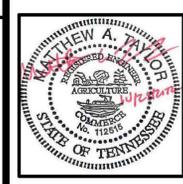
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DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

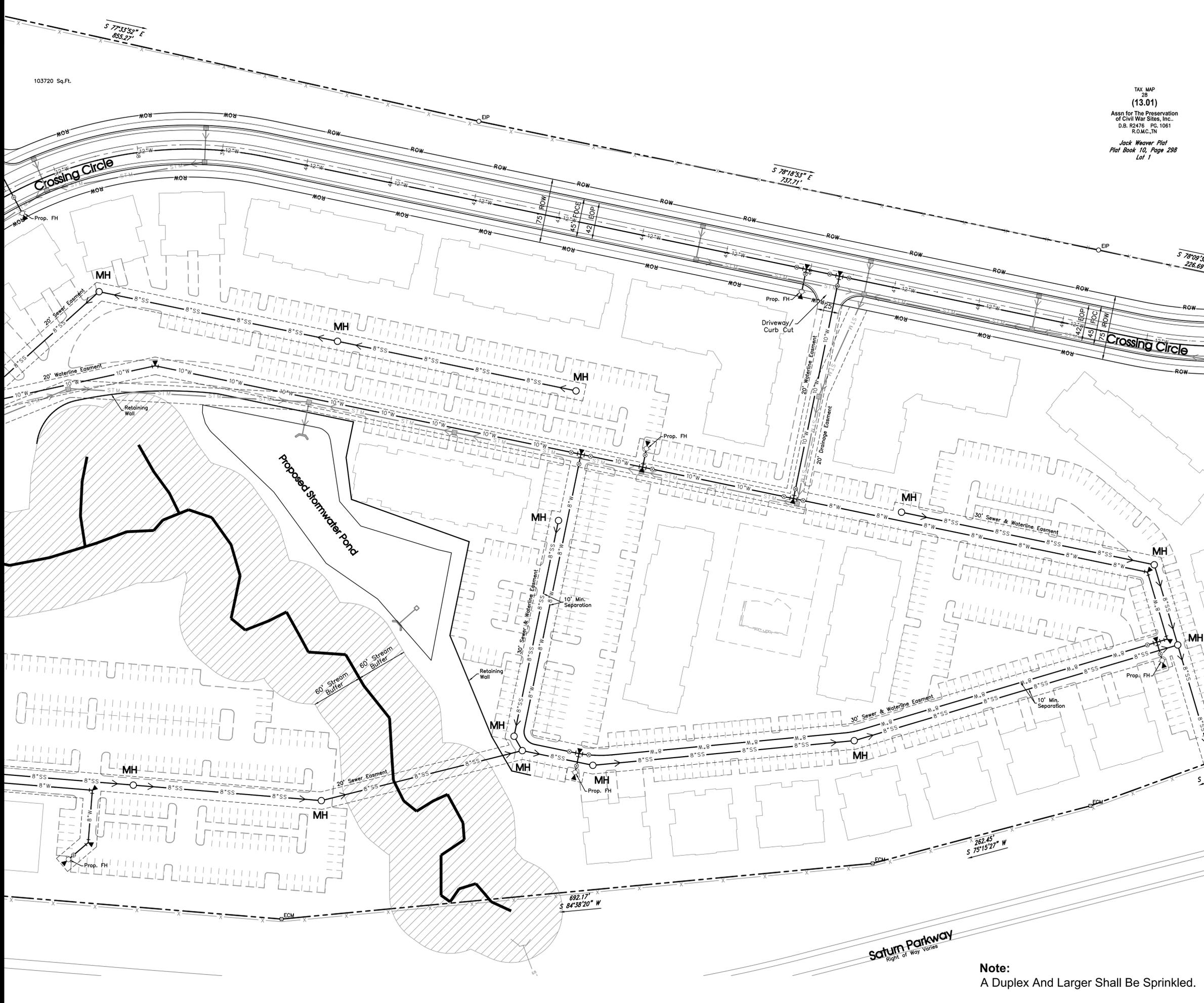
**SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN**
Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
Revision Date:
10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

Utility Sheet
**SHEET
C1.3**
PROJECT #
22528

Note:
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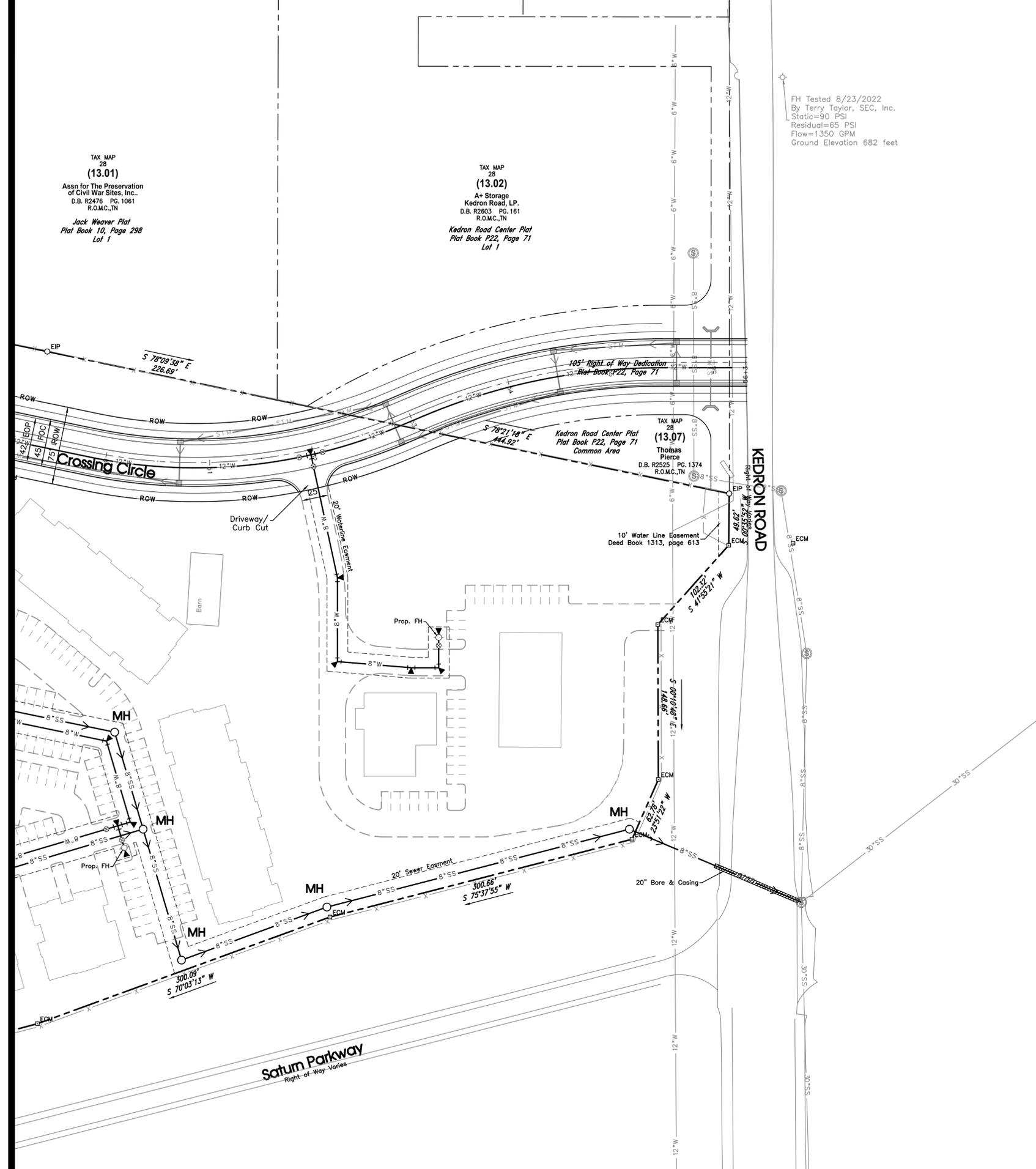


TAX MAP 28 (13.01)
 Assn for The Preservation of Civil War Sites, Inc.
 D.B. R2476 PG. 1061 R.O.M.C., TN
 Jack Weaver Plat Plat Book 10, Page 298 Lot 1

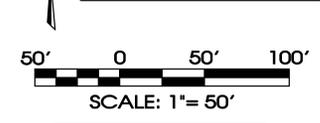
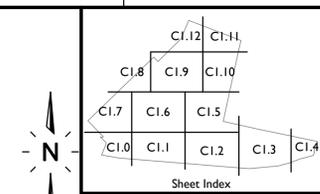
TAX MAP 28 (13.02)
 A* Storage Kedron Road, LP.
 D.B. R2603 PG. 161 R.O.M.C., TN
 Kedron Road Center Plat Plat Book P22, Page 71 Lot 1

TAX MAP 28 (13.07)
 Thomas Pierce
 D.B. R2525 PG. 1374 R.O.M.C., TN
 Kedron Road Center Plat Plat Book P22, Page 71 Common Area

FH Tested 8/23/2022
 By Terry Taylor, SEC, Inc.
 Static=90 PSI
 Residual=65 PSI
 Flow=1350 GPM
 Ground Elevation 682 feet



Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊕	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
—	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	↗	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	>	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊕	CATCH BASIN	↔	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE and BOX	⊕	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE- "U" HEADWALL
—	EXISTING PHONE	—	PH
—	EXISTING ELECTRIC	—	OH
—	PROPERTY LINE	—	---
—	EASEMENTS	—	---
—	RIGHT OF WAY	—	ROW
—	EROSION CONTROL SILT FENCE	—	SF SF
—	EXISTING TREELINE	—	~
—	EXISTING FENCELINE	—	X X
—	MINIMUM BUILDING SETBACK LINE	—	MBSL
—	PHASE BOUNDARY	—	---
—	EXISTING GAS LINE	—	GAS
—	PROPOSED GAS LINE	—	GAS
—	EXISTING STORM	—	STM
—	PROPOSED STORM	—	STM
—	EXISTING CONTOUR LINES	—	-601-
—	PROPOSED CONTOUR LINES	—	601
—	EXISTING SANITARY SEWER	—	SS SS
—	PROPOSED SANITARY SEWER	—	SS SS
—	EXISTING WATER	—	W W
—	PROPOSED WATER	—	W W
—	EROSION EEL	—	E E E



SEC, Inc.

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DEVELOPMENT PLANNING AND
 LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
 Revision Date:
 10-17-2022: Staff Comments
 10-31-2022: PC Workshop Comments

Utility Sheet
 SHEET
C1.4
 PROJECT #
 22528

Note:
 A Duplex And Larger Shall Be Sprinkled.



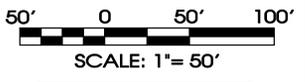
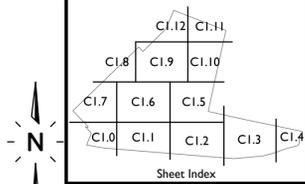
TAX MAP
28
(13.01)
Assn for The Preservation
of Civil War Sites, Inc.,
D.B. R2476 Pg. 1061
R.O.M.C., TN
Jack Weaver Plat
Plat Book 10, Page 298
Lot 1

Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
—	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊞	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊞	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊞	ELECTRICAL ENCLOSURE	▽	REDUCER
⊞	EXIST. WATER METER	⊞	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊞	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊞	RIP RAP
⊞	BENCHMARK	→	RUNOFF FLOW ARROW
⊞	BLOW OFF VALVE	>	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊞	CATCH BASIN	→	TURN LANE ARROWS
⊞	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊞	AREA DRAIN	⊞	WHEEL STOP
⊞	CONCRETE THRUST BLOCK	⊞	GREASE TRAP
⊞	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊞	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊞	FIRE HYDRANT	⊞	CONCRETE SIDEWALK
⊞	GAS METER	⊞	EXTRUDED CURB
⊞	GATE VALVE and BOX	⊞	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊞	CONCRETE SWALE
⊞	WATER METER	⊞	TYPE- "U" HEADWALL
—	EXISTING PHONE	—	PH
—	EXISTING ELECTRIC	—	OH
—	PROPERTY LINE	—	—
—	EASEMENTS	—	—
—	RIGHT OF WAY	—	ROW
—	EROSION CONTROL SILT FENCE	—	SF SF
—	EXISTING TREELINE	—	—
—	EXISTING FENCELINE	X X	X X
—	MINIMUM BUILDING SETBACK LINE	—	MBSL
—	PHASE BOUNDARY	—	—
—	EXISTING GAS LINE	—	GAS
—	PROPOSED GAS LINE	—	GAS
—	EXISTING STORM	—	STM
—	PROPOSED STORM	—	STM
—	EXISTING CONTOUR LINES	—	601
—	PROPOSED CONTOUR LINES	—	601
—	EXISTING SANITARY SEWER	—	SS SS
—	PROPOSED SANITARY SEWER	—	SS SS
—	EXISTING WATER	—	W W
—	PROPOSED WATER	—	W W
—	EROSION EEL	—	E E E



SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



SEC, Inc.

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850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
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Submission Date: 09.06.2022
Revision Date:
10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

Utility Sheet
SHEET C1.5
PROJECT # 22528

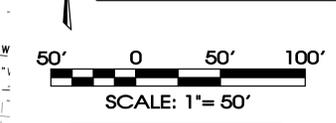
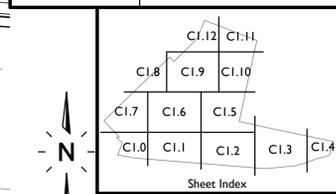
Note:
A Duplex And Larger Shall Be Sprinkled.



Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25'	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25'	EXIST. SPOT ELEVATION
⊖	EXIST. GAS RISER	⊖	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊖	REMOTE FIRE DEPT. CONNECTION
⊖	EXIST. UTILITY POLE	⊖	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	⊖	RIP RAP
⊖	BENCHMARK	➔	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	➔	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	➔	TRAFFIC ARROW
⊖	CATCH BASIN	➔	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
⊖	GATE VALVE and BOX	⊖	CURB and GUTTER
⊖	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE - "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



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DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

**SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN**
 Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
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 10-31-2022: PC Workshop Comments

Utility Sheet
 SHEET
C1.6
 PROJECT #
 22528

Restrictive Covenant Agreement
Deed Book R2358, page 781
and
Deed Book R2365, page 1026
and
Deed Book R2379, page 463

549169 Sq.Ft.

A=240.45'
R=275.00'
Δ=50°05'47"
CB=N 19°02'28" W
CL=232.86'

Crossing South
Phase 1, Section 1
Plat Book 20, Page 53

TAX MAP
29
(8.02)
Store Master
Funding VII, LLC.
D.B. R2280 Pg. 1231
R.O.M.C./TN

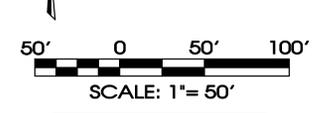
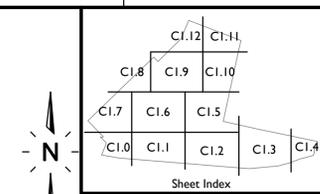
6

A=78.54'
R=50.00'
Δ=90°00'00"
CB=S 89°55'13" W
CL=50.00'

Hatched area is a temporary turn around
easement to be abandoned upon extension
of the public road

No Build Easement
Deed Book R1969, page 1348

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25'	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25'	EXIST. SPOT ELEVATION
⊖	EXIST. GAS RISER	⊖	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊖	REMOTE FIRE DEPT. CONNECTION
⊖	EXIST. UTILITY POLE	⊖	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	⊖	RIP RAP
⊖	BENCHMARK	→	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	→	SEWER/STORM FLOW DIRECTION
•	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊖	CATCH BASIN	→	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
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⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
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⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
⊖	GATE VALVE and BOX	⊖	CURB and GUTTER
⊖	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE- "U" HEADWALL
⊖	EXISTING PHONE	—	PH
⊖	EXISTING ELECTRIC	—	OH
⊖	PROPERTY LINE	---	
⊖	EASEMENTS	---	
⊖	RIGHT OF WAY	---	ROW
⊖	EROSION CONTROL SILT FENCE	---	SF SF
⊖	EXISTING TREELINE	---	
⊖	EXISTING FENCELINE	X X	
⊖	MINIMUM BUILDING SETBACK LINE	---	MBSL
⊖	PHASE BOUNDARY	---	
⊖	EXISTING GAS LINE	---	GAS
⊖	PROPOSED GAS LINE	---	GAS
⊖	EXISTING STORM	---	STM
⊖	PROPOSED STORM	---	STM
⊖	EXISTING CONTOUR LINES	---	601
⊖	PROPOSED CONTOUR LINES	---	601
⊖	EXISTING SANITARY SEWER	---	SS
⊖	PROPOSED SANITARY SEWER	---	SS
⊖	EXISTING WATER	---	W
⊖	PROPOSED WATER	---	W
⊖	EROSION EEL	---	E E E



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**SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN**
Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
Revision Date:
10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

Utility Sheet
**SHEET
C1.7**
PROJECT #
22528

Note:
A Duplex And Larger Shall Be Sprinkled.



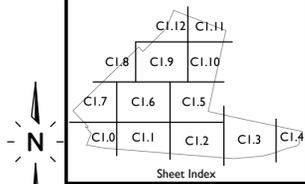
DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee

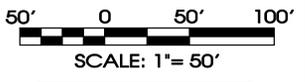
Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
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⊗	EXIST. WATER/GAS VALVE	63.25'	PROPOSED SPOT ELEVATION
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⊖	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊗	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊖	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	⊖	RIP RAP
⊖	BENCHMARK	➔	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	➔	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	➔	TRAFFIC ARROW
⊖	CATCH BASIN	➔	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
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○	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE- "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
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PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



Sheet Index



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MURFREESBORO, TENNESSEE 37129
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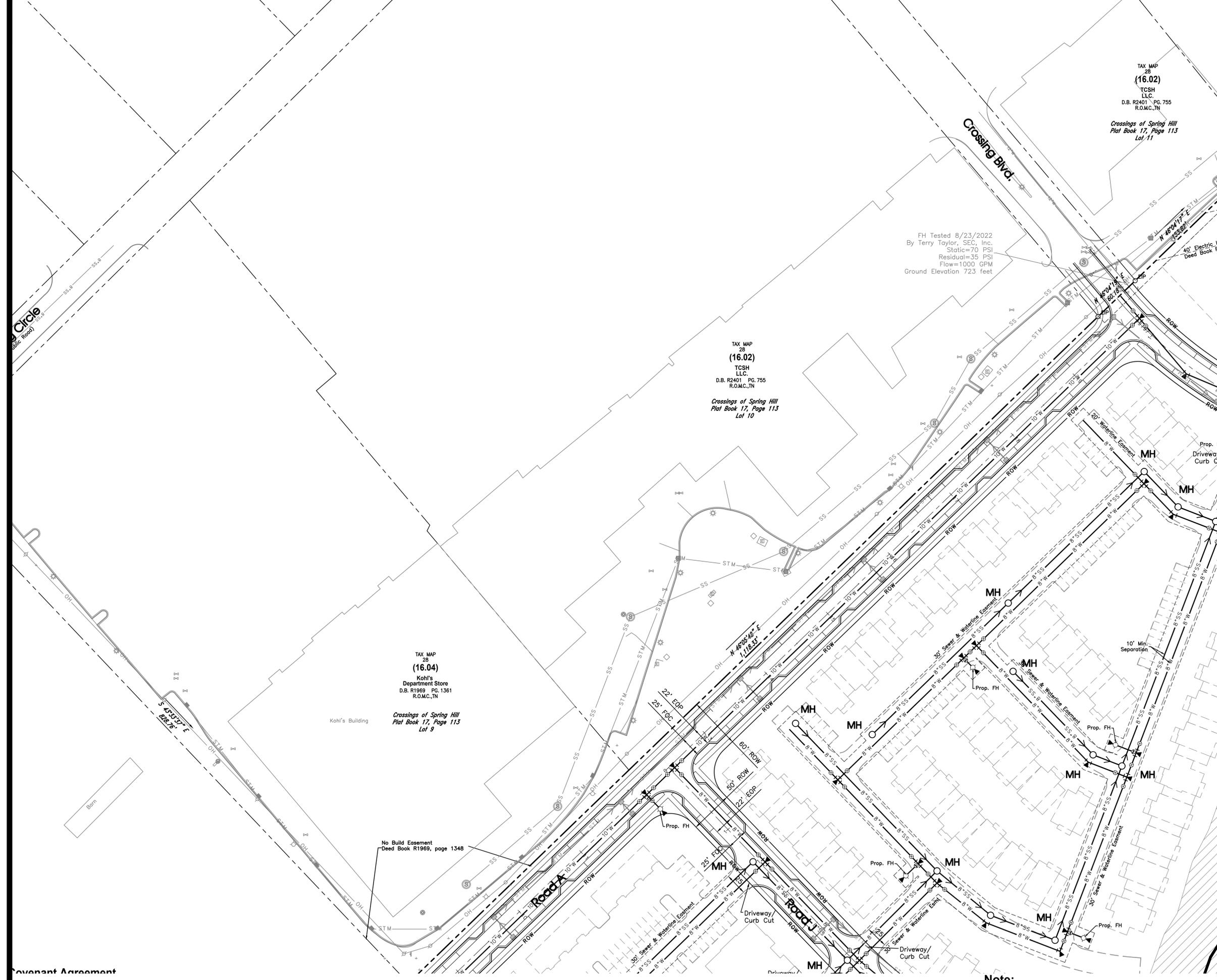


Submission Date: 09.06.2022
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Utility Sheet

SHEET
C1.8
PROJECT #
22528



Covenant Agreement

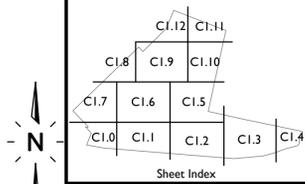
TAX MAP
28
(16.02)
TCSH
LLC
D.B. R2401 PG. 755
R.O.M.C., TN
Crossings of Spring Hill
Plat Book 17, Page 113
Lot 11



Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
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⊖	BENCHMARK	→	RUNOFF FLOW ARROW
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⊖	AREA DRAIN	⊖	WHEEL STOP
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⊖	GAS METER	—	EXTRUDED CURB
⊖	GATE VALVE and BOX	—	CURB and GUTTER
⊖	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE - "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
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EXISTING CONTOUR LINES	-60-
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
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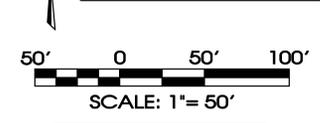
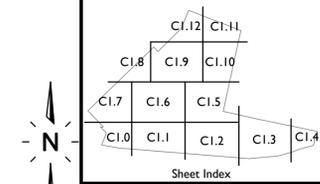
Utility Sheet
SHEET
C1.9
PROJECT #
22528



TAX MAP 28 (13.01)
 Assn for The Preservation of Civil War Sites, Inc.
 D.B. R2476 PG. 1061 R.O.M.C., TN
 Jack Weaver Plat Plat Book 10, Page 298 Lot 1

TAX MAP 28 (13.01)
 Assn for The Preservation of Civil War Sites, Inc.
 D.B. R2476 PG. 1061 R.O.M.C., TN
 Jack Weaver Plat Plat Book 10, Page 298 Lot 1

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊕	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
—	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	↗	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	↗	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊕	CATCH BASIN	↗	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE and BOX	⊕	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE- "U" HEADWALL
—	EXISTING PHONE	—	PH
—	EXISTING ELECTRIC	—	OH
—	PROPERTY LINE	—	---
—	EASEMENTS	—	---
—	RIGHT OF WAY	—	ROW
—	EROSION CONTROL SILT FENCE	—	SF SF
—	EXISTING TREELINE	—	~
—	EXISTING FENCELINE	—	X X
—	MINIMUM BUILDING SETBACK LINE	—	MBSL
—	PHASE BOUNDARY	—	---
—	EXISTING GAS LINE	—	GAS
—	PROPOSED GAS LINE	—	GAS
—	EXISTING STORM	—	STM
—	PROPOSED STORM	—	STM
—	EXISTING CONTOUR LINES	—	-601-
—	PROPOSED CONTOUR LINES	—	601
—	EXISTING SANITARY SEWER	—	SS SS
—	PROPOSED SANITARY SEWER	—	SS SS
—	EXISTING WATER	—	W W
—	PROPOSED WATER	—	W W
—	EROSION EEL	—	E E E



SEC, Inc.
 SITE ENGINEERING CONSULTANTS
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 LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
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DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

**SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN**
 Spring Hill, Maury County, Tennessee



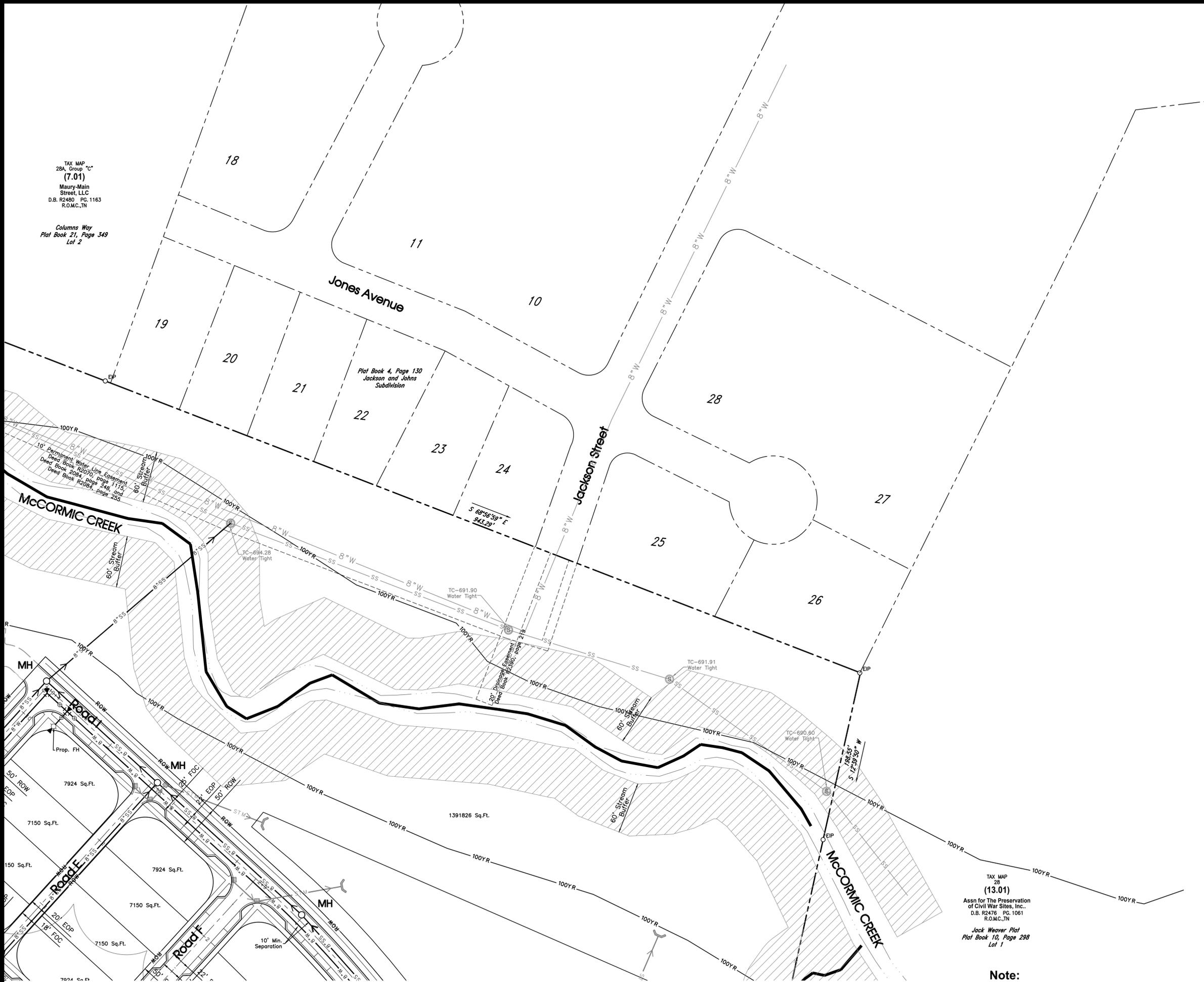
Submission Date: 09.06.2022
 Revision Date:
 10-17-2022: Staff Comments
 10-31-2022: PC Workshop Comments

Utility Sheet
 SHEET
C1.10
 PROJECT # 22528

Note:
 A Duplex And Larger Shall Be Sprinkled.

TAX MAP
28A, Group "c"
(7.01)
Maury-Main
Street, LLC
D.B. R2480 PG. 1163
R.O.M.C., TN

Columns Way
Plat Book 21, Page 349
Lot 2



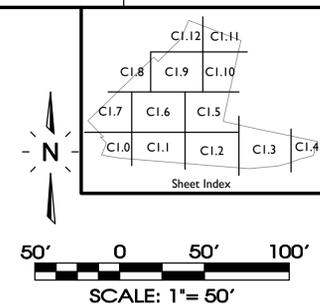
Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊕	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25'	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25'	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	→	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	>	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊕	CATCH BASIN	→	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	—	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	—	CONCRETE SIDEWALK
⊕	GAS METER	—	EXTRUDED CURB
⊕	GATE VALVE and BOX	—	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE- "U" HEADWALL
—	EXISTING PHONE	—	PH
—	EXISTING ELECTRIC	—	OH
—	PROPERTY LINE	—	—
—	EASEMENTS	—	—
—	RIGHT OF WAY	—	ROW
—	EROSION CONTROL SILT FENCE	—	SF SF
—	EXISTING TREELINE	—	—
—	EXISTING FENCELINE	X X	X X
—	MINIMUM BUILDING SETBACK LINE	—	MBSL
—	PHASE BOUNDARY	—	—
—	EXISTING GAS LINE	—	GAS
—	PROPOSED GAS LINE	—	GAS
—	EXISTING STORM	—	STM
—	PROPOSED STORM	—	STM
—	EXISTING CONTOUR LINES	—	601
—	PROPOSED CONTOUR LINES	—	601
—	EXISTING SANITARY SEWER	—	SS
—	PROPOSED SANITARY SEWER	—	SS
—	EXISTING WATER	—	W
—	PROPOSED WATER	—	W
—	EROSION EEL	—	E E E



SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee

TAX MAP
28
(13.01)
Assn for The Preservation
of Civil War Sites, Inc.,
D.B. R2476 PG. 1061
R.O.M.C., TN

Jack Weaver Plat
Plat Book 10, Page 298
Lot 1



SCALE: 1" = 50'

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MURFREESBORO, TENNESSEE 37129
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Submission Date: 09.06.2022
Revision Date:
10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

Utility Sheet
SHEET
C1.11
PROJECT #
22528

Crossing Circle
(60' Right of Way)

TAX MAP 28 (15.04)
Maury-Main Street, LLC
D.B. R2525 PG. 26 R.O.M.C., TN
Columns Way Plat Book 21, Page 394 Lot 051

Crossings of Spring Hill Plat Book 17, Page 113 Lot 13

Crossings of Spring Hill Plat Book 17, Page 113 Lot 15

TAX MAP 28 (16.16)
TCSH LLC
D.B. R2401 PG. 755 R.O.M.C., TN

TAX MAP 28 (16.15)
TCSH LLC
D.B. R2401 PG. 755 R.O.M.C., TN

TAX MAP 28 (16.03)
Target Corporation
D.B. R2020 PG. 399 R.O.M.C., TN

Crossings of Spring Hill Plat Book 17, Page 113 Lot 14

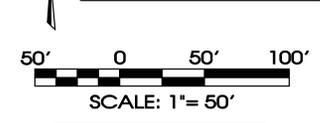
TAX MAP 28 (16.02)
TCSH LLC
D.B. R2401 PG. 755 R.O.M.C., TN

Crossings of Spring Hill Plat Book 17, Page 113 Lot 11

TAX MAP 28A, Group "C" (7.01)
Maury-Main Street, LLC
D.B. R2480 PG. 1163 R.O.M.C., TN
Columns Way Plat Book 21, Page 349 Lot 2

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊞	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊞	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊞	ELECTRICAL ENCLOSURE	▽	REDUCER
⊞	EXIST. WATER METER	⊞	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊞	REVISION NUMBER
⊞	EXIST. FIRE HYDRANT	⊞	RIP RAP
⊞	BENCHMARK	→	RUNOFF FLOW ARROW
⊞	BLOW OFF VALVE	>	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊞	CATCH BASIN	→	TURN LANE ARROWS
⊞	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊞	AREA DRAIN	⊞	WHEEL STOP
⊞	CONCRETE THRUST BLOCK	⊞	GREASE TRAP
⊞	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊞	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊞	FIRE HYDRANT	⊞	CONCRETE SIDEWALK
⊞	GAS METER	⊞	EXTRUDED CURB
⊞	GATE VALVE and BOX	⊞	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊞	CONCRETE SWALE
⊞	WATER METER	⊞	TYPE- "U" HEADWALL
⊞	EXISTING PHONE	—	PH
⊞	EXISTING ELECTRIC	—	OH
⊞	PROPERTY LINE	—	---
⊞	EASEMENTS	---	---
⊞	RIGHT OF WAY	---	ROW
⊞	EROSION CONTROL SILT FENCE	—	SF SF
⊞	EXISTING TREELINE	—	—
⊞	EXISTING FENCELINE	X	X
⊞	MINIMUM BUILDING SETBACK LINE	---	MBSL
⊞	PHASE BOUNDARY	---	---
⊞	EXISTING GAS LINE	---	GAS
⊞	PROPOSED GAS LINE	---	GAS
⊞	EXISTING STORM	---	STM
⊞	PROPOSED STORM	---	STM
⊞	EXISTING CONTOUR LINES	---	601
⊞	PROPOSED CONTOUR LINES	---	601
⊞	EXISTING SANITARY SEWER	---	SS
⊞	PROPOSED SANITARY SEWER	---	SS
⊞	EXISTING WATER	---	W
⊞	PROPOSED WATER	---	W
⊞	EROSION EEL	---	E E E

Sheet Index	C1.8	C1.9	C1.10	C1.11	C1.12	C1.13	C1.14
	C1.7	C1.6	C1.5	C1.4	C1.3	C1.2	C1.1
	C1.0	C1.1	C1.2	C1.3	C1.4	C1.5	C1.6



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SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
Revision Date:
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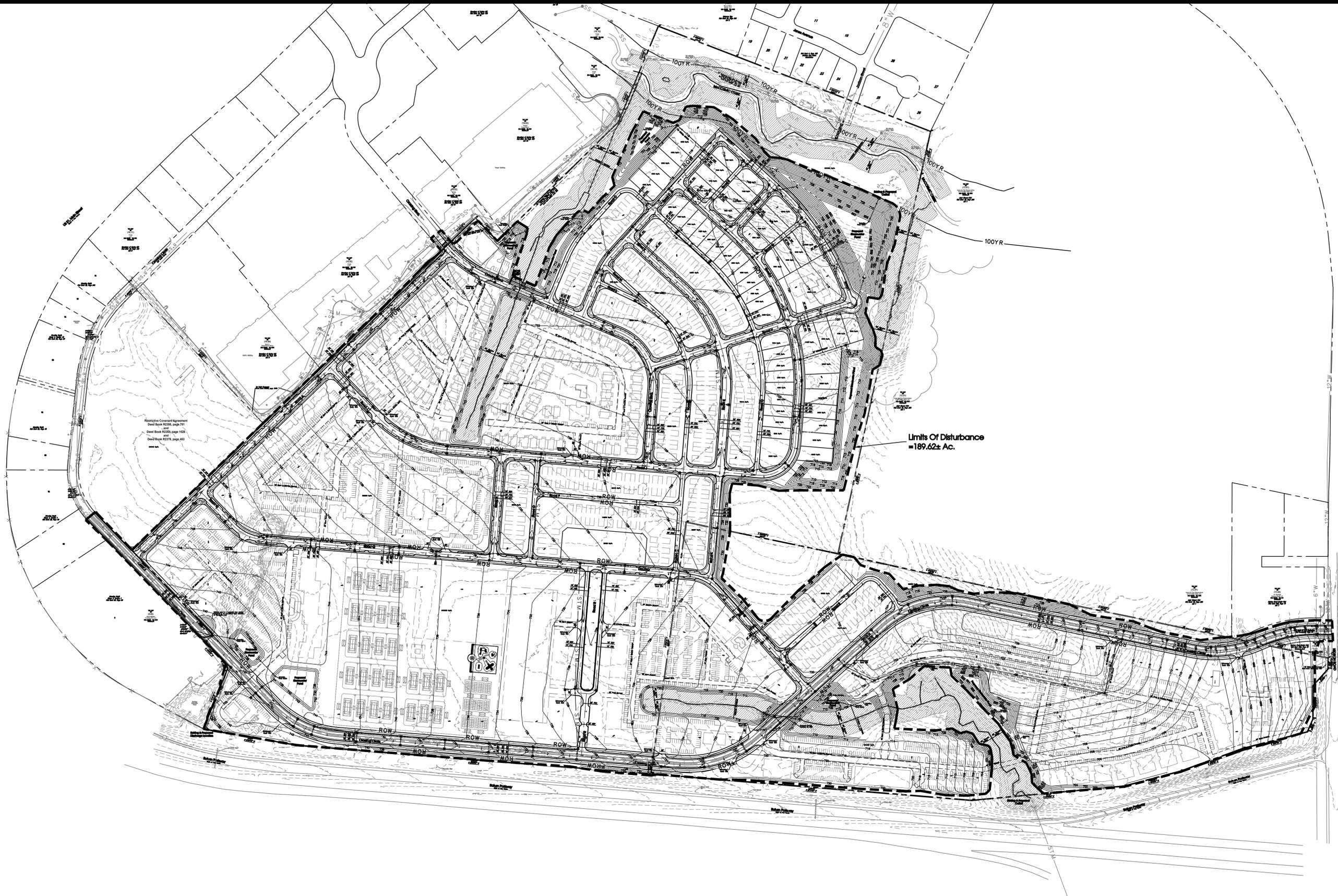
Utility Sheet
SHEET C1.12
PROJECT # 22528

Note:
A Duplex And Larger Shall Be Sprinkled.



DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

**SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN**
Spring Hill, Maury County, Tennessee



Multiple Consent Agreement
Deed Book 42204, page 791
Deed Book 42205, page 102
Deed Book 42218, page 483

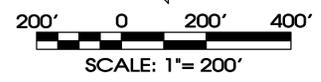
Limits Of Disturbance
=189.62± Ac.



Submission Date: 09.06.2022
Revision Date:

- △ 10-17-2022: Staff Comments
- △ 10-31-2022: PC Workshop Comments
- △

Master Grading & Drainage Plan



SEC, Inc.

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LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129

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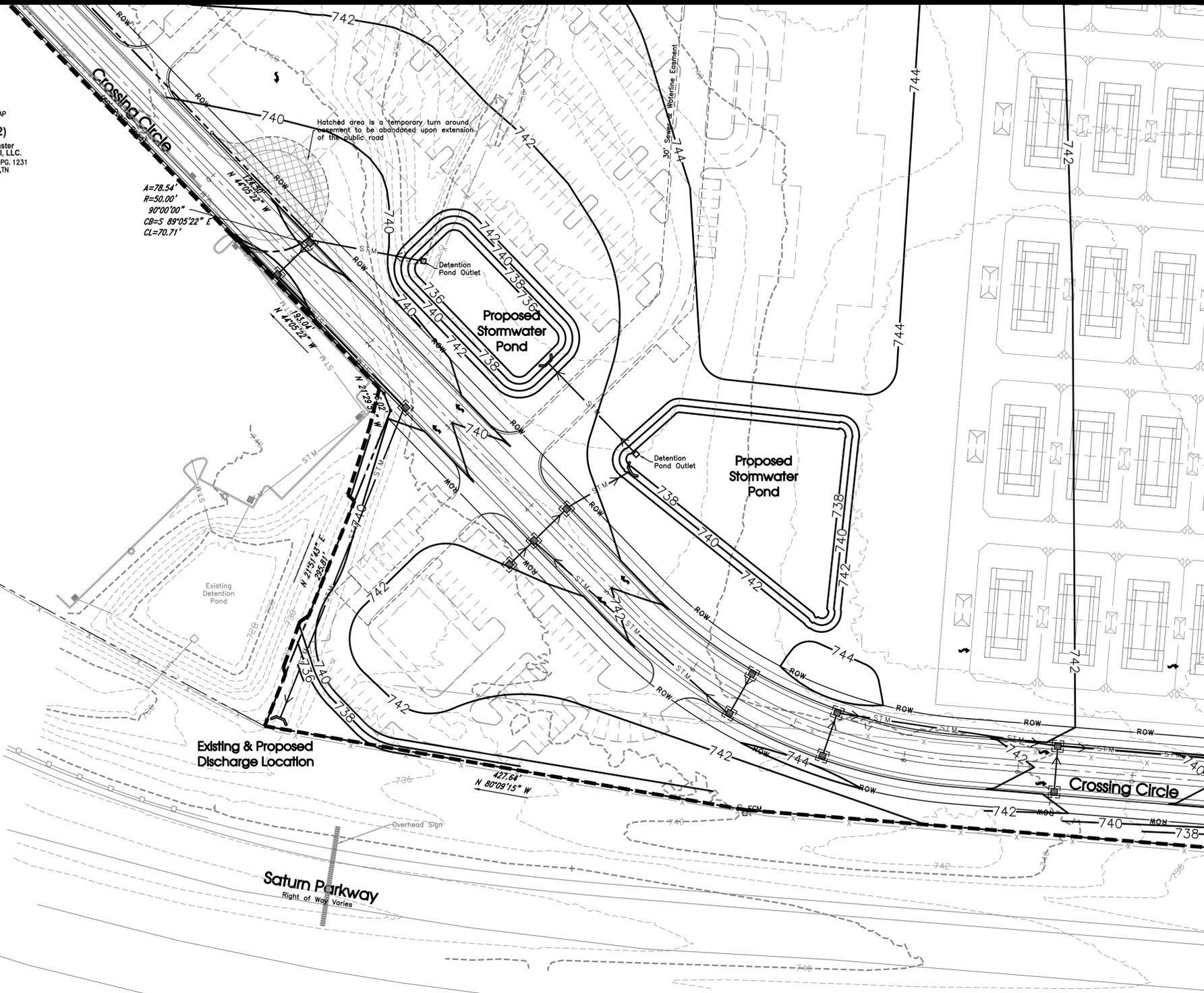
SHEET
C0.2

PROJECT #
22528

TAX MAP
29
(8.02)
Store Master
Funding VII, LLC.
D.B. R2260 PG. 1231
R.O.M.C., TN

A=78.54'
R=50.00'
90°00'00"
CB=S 89°05'22" E
CL=70.71'

Hatched area is a temporary turn around
assessment to be abandoned upon extension
of the public road

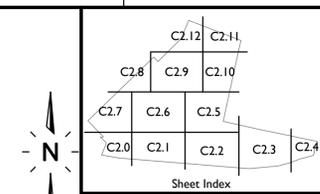


Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	○	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
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⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊞	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊞	ELECTRICAL ENCLOSURE	▽	REDUCER
⊞	EXIST. WATER METER	⊞	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊞	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊞	RIP RAP
⊞	BENCHMARK	➔	RUNOFF FLOW ARROW
⊞	BLOW OFF VALVE	➔	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	➔	TRAFFIC ARROW
⊞	CATCH BASIN	➔	TURN LANE ARROWS
⊞	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊞	AREA DRAIN	⊞	WHEEL STOP
⊞	CONCRETE THRUST BLOCK	⊞	GREASE TRAP
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⊞	GAS METER	⊞	EXTRUDED CURB
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○	EXTERIOR CLEANOUT ECO	⊞	CONCRETE SWALE
⊞	WATER METER	⊞	TYPE - "U" HEADWALL
⊞	EXISTING PHONE	PH	
⊞	EXISTING ELECTRIC	OH	
⊞	PROPERTY LINE	---	
⊞	EASEMENTS	---	
⊞	RIGHT OF WAY	ROW	
⊞	EROSION CONTROL SILT FENCE	SF SF	
⊞	EXISTING TREELINE	---	
⊞	EXISTING FENCELINE	X X	
⊞	MINIMUM BUILDING SETBACK LINE	MBSL	
⊞	PHASE BOUNDARY	---	
⊞	EXISTING GAS LINE	GAS	
⊞	PROPOSED GAS LINE	GAS	
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⊞	EXISTING SANITARY SEWER	SS SS	
⊞	PROPOSED SANITARY SEWER	SS SS	
⊞	EXISTING WATER	W W	
⊞	PROPOSED WATER	W W	
⊞	EROSION EEL	E E E	



DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



SEC, Inc.

SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129

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Limits Of Disturbance = 189.62± Ac.

Note: All Storm Sewer Pipes Shall Be 18" Minimum



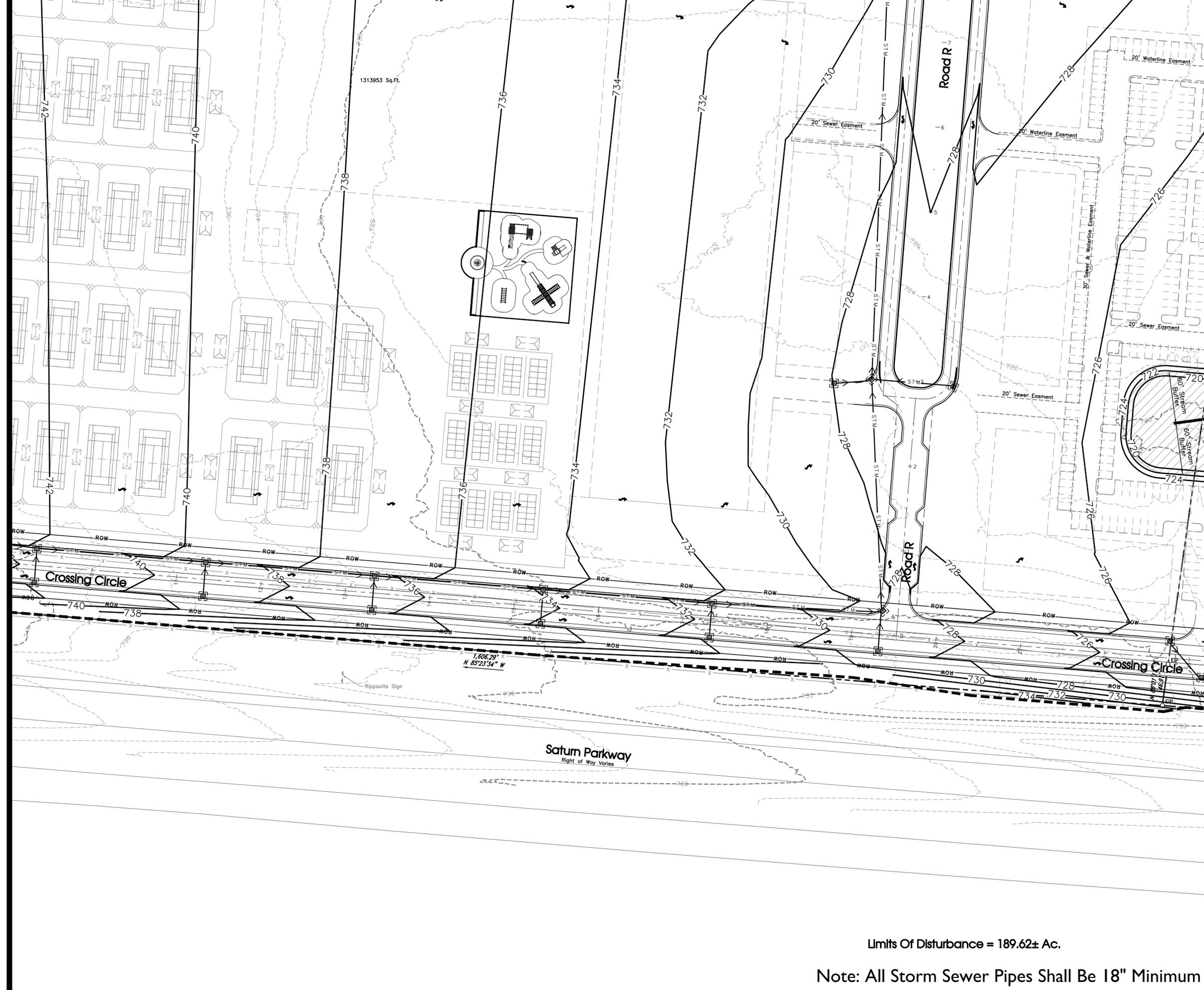
Submission Date: 09.06.2022
Revision Date:

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Grading & Drainage Plan

SHEET
C2.0

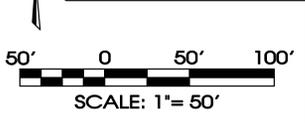
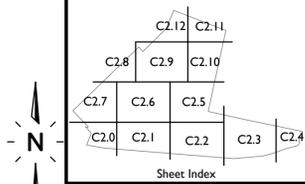
PROJECT #
22528



Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	○	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
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⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	△	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊗	RIP RAP
⊕	BENCHMARK	→	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	→	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊕	CATCH BASIN	→	TURN LANE ARROWS
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⊕	AREA DRAIN	⊕	WHEEL STOP
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⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE and BOX	⊕	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE - "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



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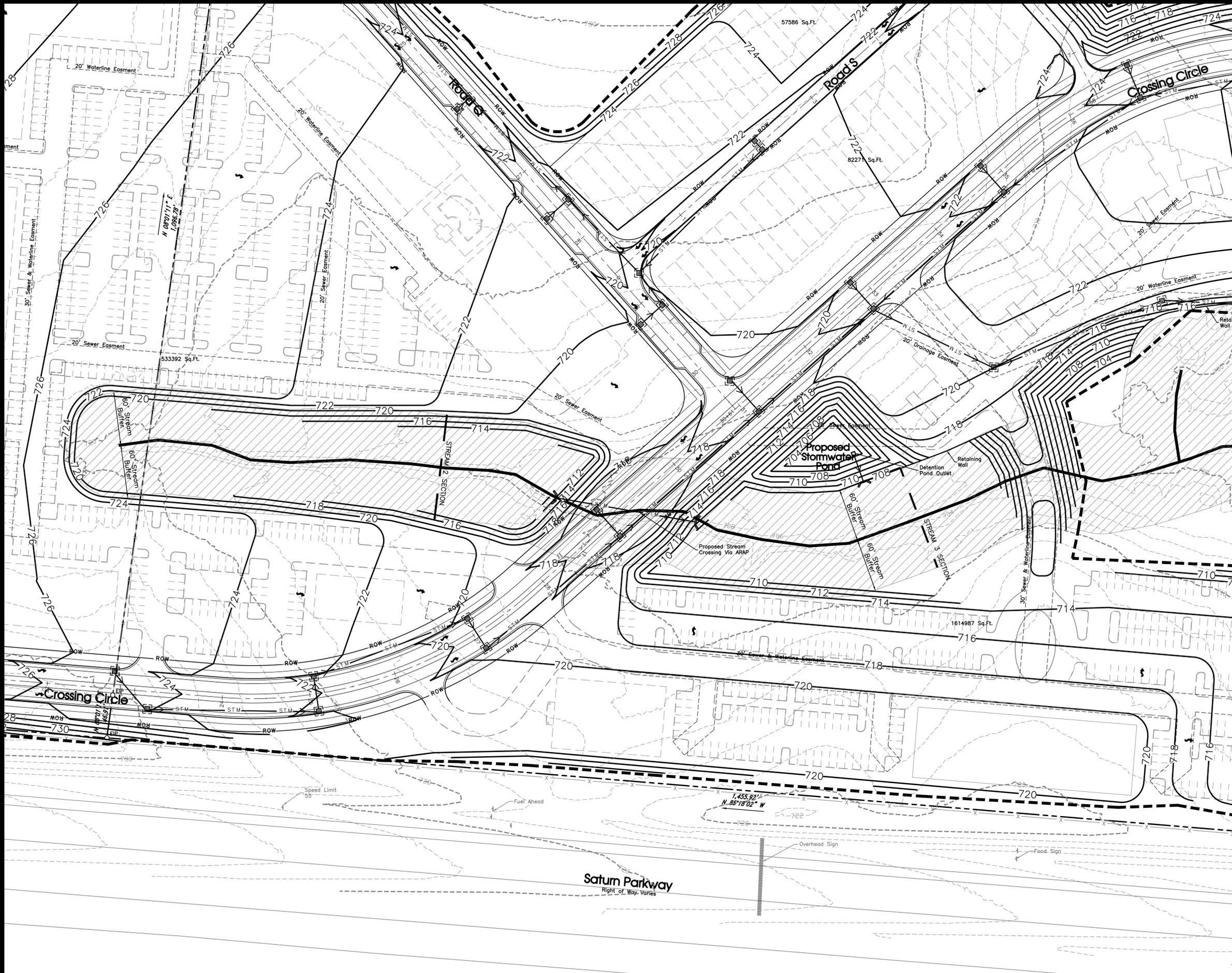
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SITE ENGINEERING CONSULTANTS
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850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
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Grading & Drainage Plan

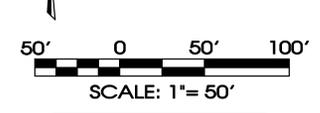
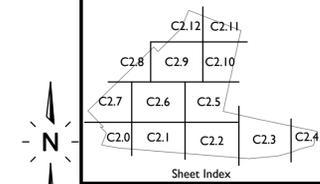
SHEET
C2.1
PROJECT #
22528



Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	○	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	○	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	→	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	→	SEWER/STORM FLOW DIRECTION
•	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊕	CATCH BASIN	→	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE and BOX	⊕	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE- "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	~
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



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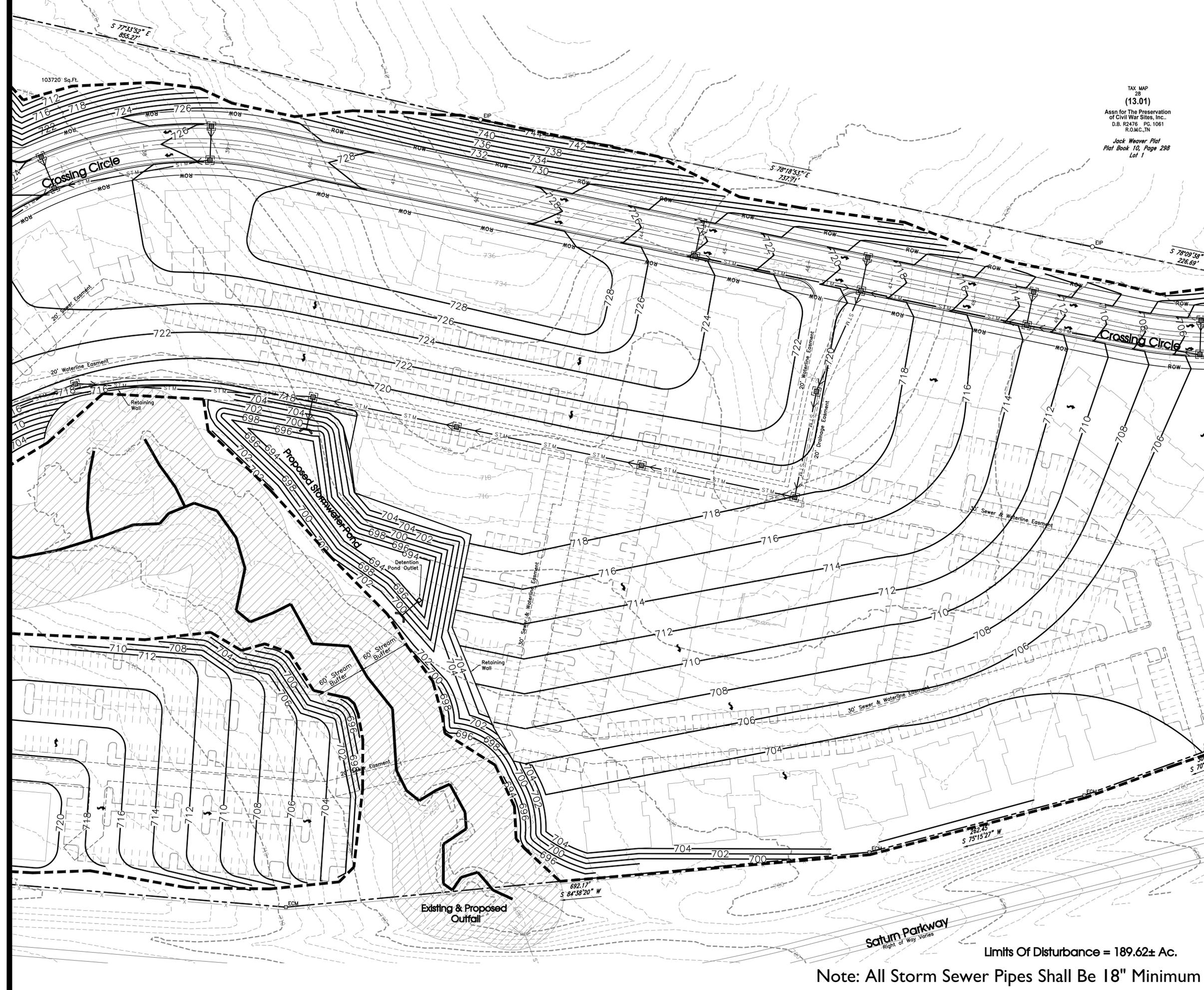
**SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN**
 Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
 Revision Date:
 10-17-2022: Staff Comments
 10-31-2022: PC Workshop Comments

Grading & Drainage Plan
 SHEET
C2.2
 PROJECT #
 22528

Limits Of Disturbance = 189.62± Ac.
 Note: All Storm Sewer Pipes Shall Be 18" Minimum

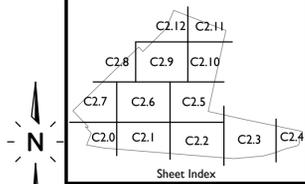


TAX MAP
28
(13.01)
Assn for The Preservation
of Civil War Sites, Inc.
D.B. R2476 PG. 1061
R.O.M.C., TN
Jack Weaver Plat
Plat Book 10, Page 298
Lot 1

Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊖	EXIST. GAS RISER	⊖	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊖	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊖	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	⊖	RIP RAP
⊖	BENCHMARK	→	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	>	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊖	CATCH BASIN	→	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
⊖	GATE VALVE and BOX	⊖	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE- "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



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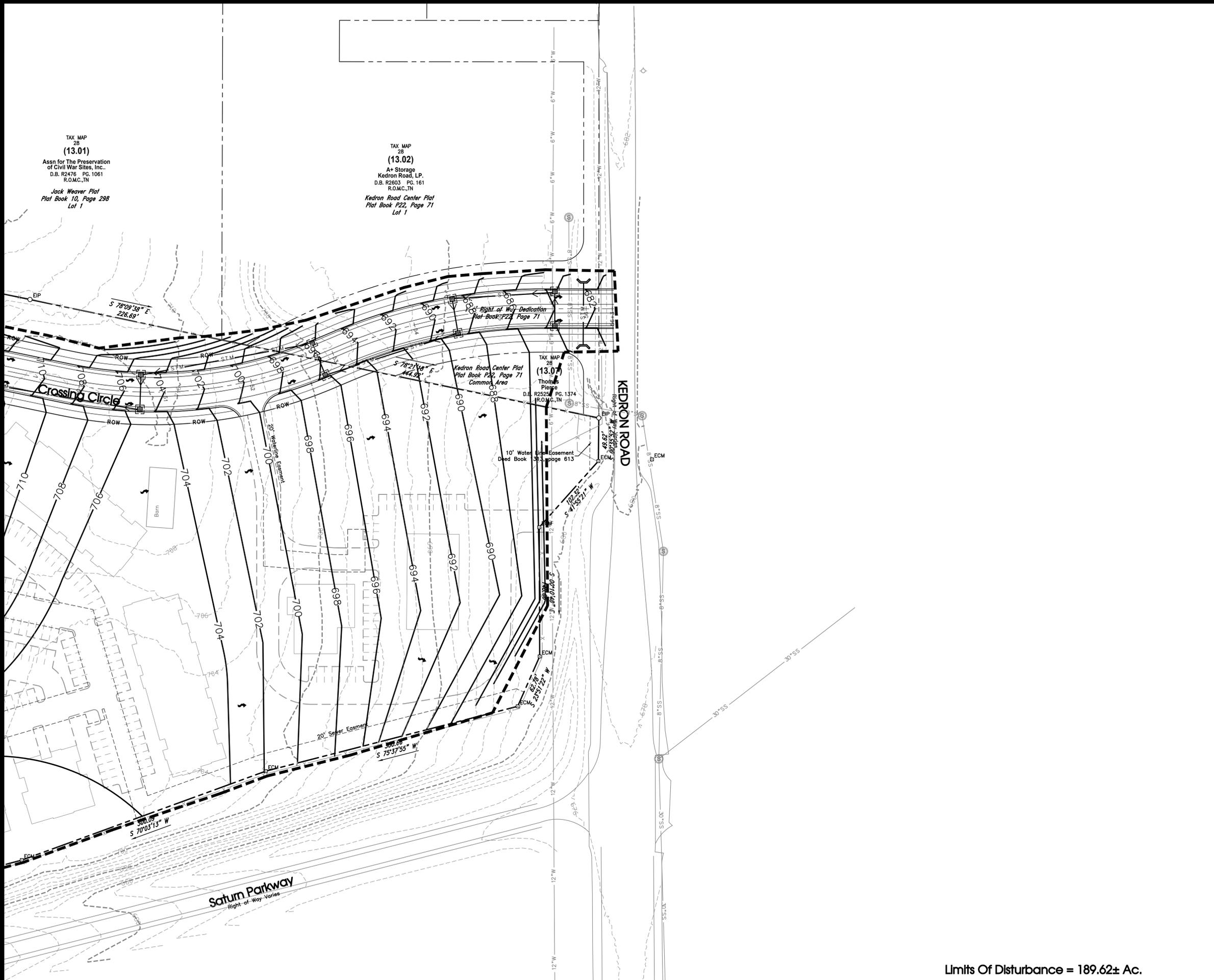
**SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN**
Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
Revision Date:
10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

Grading & Drainage Plan
SHEET
C2.3
PROJECT #
22528

Limits Of Disturbance = 189.62± Ac.
Note: All Storm Sewer Pipes Shall Be 18" Minimum

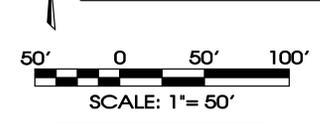
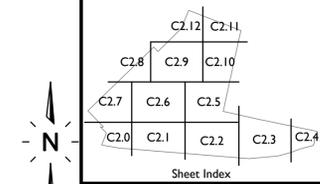


TAX MAP 28 (13.01)
 Assn for The Preservation of Civil War Sites, Inc.
 D.B. R2476 PG. 1061 R.O.M.C.TN
 Jack Weaver Plat Plat Book 10, Page 298 Lot 1

TAX MAP 28 (13.02)
 A+ Storage Kedron Road, LP.
 D.B. R2603 PG. 161 R.O.M.C.TN
 Kedron Road Center Plat Plat Book P22, Page 71 Lot 1

TAX MAP 28 (13.07)
 Thomas Pledge
 D.B. R2525 PG. 1374 R.O.M.C.TN
 Kedron Road Center Plat Plat Book P22, Page 71 Common Area

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊕	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	↗	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	↗	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	↗	TRAFFIC ARROW
⊕	CATCH BASIN	↗	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE and BOX	⊕	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE - "U" HEADWALL
—	EXISTING PHONE	—	PH
—	EXISTING ELECTRIC	—	OH
—	PROPERTY LINE	—	
—	EASEMENTS	—	
—	RIGHT OF WAY	—	ROW
—	EROSION CONTROL SILT FENCE	—	SF SF
—	EXISTING TREELINE	—	
—	EXISTING FENCELINE	X X	
—	MINIMUM BUILDING SETBACK LINE	—	MBSL
—	PHASE BOUNDARY	—	
—	EXISTING GAS LINE	—	GAS
—	PROPOSED GAS LINE	—	GAS
—	EXISTING STORM	—	STM
—	PROPOSED STORM	—	STM
—	EXISTING CONTOUR LINES	—	601
—	PROPOSED CONTOUR LINES	—	601
—	EXISTING SANITARY SEWER	—	SS SS
—	PROPOSED SANITARY SEWER	—	SS SS
—	EXISTING WATER	—	W W
—	PROPOSED WATER	—	W W
—	EROSION EEL	—	E E E



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**SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN**
 Spring Hill, Maury County, Tennessee



Submittal Date: 09.06.2022
 Revision Date:
 10-17-2022: Staff Comments
 10-31-2022: PC Workshop Comments

Grading & Drainage Plan
 SHEET
C2.4
 PROJECT #
 22528

Limits Of Disturbance = 189.62± Ac.

Note: All Storm Sewer Pipes Shall Be 18" Minimum



TAX MAP
28
(13.01)
Assn for The Preservation
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D.B. R2476 PG-1061
R.O.M.C.TN
Jack Weaver Plat
Plat Book 10, Page 298
Lot 1

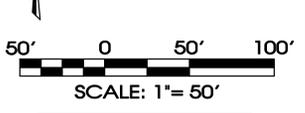
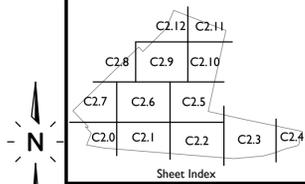
Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	○	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
—	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	△	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	→	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	→	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊕	CATCH BASIN	→	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE and BOX	⊕	CURB and GUTTER
⊕	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE - "U" HEADWALL
⊕	EXISTING PHONE	PH	
⊕	EXISTING ELECTRIC	OH	
⊕	PROPERTY LINE	---	
⊕	EASEMENTS	---	
⊕	RIGHT OF WAY	---	ROW
⊕	EROSION CONTROL SILT FENCE	— SF — SF	
⊕	EXISTING TREELINE	—	
⊕	EXISTING FENCELINE	X X	
⊕	MINIMUM BUILDING SETBACK LINE	---	MBSL
⊕	PHASE BOUNDARY	---	
⊕	EXISTING GAS LINE	---	GAS
⊕	PROPOSED GAS LINE	---	GAS
⊕	EXISTING STORM	---	STM
⊕	PROPOSED STORM	---	STM
⊕	EXISTING CONTOUR LINES	---	601
⊕	PROPOSED CONTOUR LINES	---	601
⊕	EXISTING SANITARY SEWER	---	SS
⊕	PROPOSED SANITARY SEWER	---	SS
⊕	EXISTING WATER	---	W
⊕	PROPOSED WATER	---	W
⊕	EROSION EEL	---	E E E



DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



SEC, Inc.

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MURFREESBORO, TENNESSEE 37129
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Submission Date: 09.06.2022
Revision Date:
10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

Grading & Drainage Plan
SHEET C2.5
PROJECT # 22528

Limits Of Disturbance = 189.62± Ac.

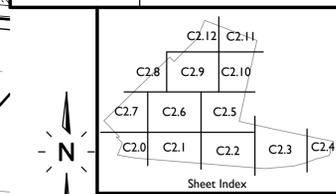
Note: All Storm Sewer Pipes Shall Be 18" Minimum



Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	○	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
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⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	➔	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	➔	SEWER/STORM FLOW DIRECTION
•	CONCRETE BOLLARD	➔	TRAFFIC ARROW
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⊕	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	—	CONCRETE SIDEWALK
⊕	GAS METER	—	EXTRUDED CURB
⊕	GATE VALVE and BOX	—	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE- "U" HEADWALL

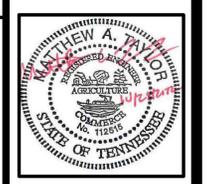
EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	—
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



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 PLANNED DEVELOPMENT - PRELIMINARY PLAN**
 Spring Hill, Maury County, Tennessee



Submittal Date: 09.06.2022
 Revision Date:
 10-17-2022: Staff Comments
 10-31-2022: PC Workshop Comments

Grading & Drainage Plan
 SHEET
C2.6
 PROJECT #
 22528

Limits Of Disturbance = 189.62± Ac.

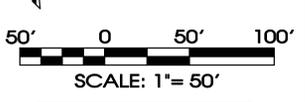
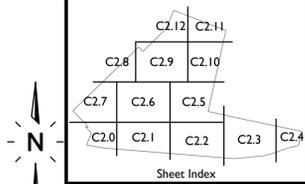
Note: All Storm Sewer Pipes Shall Be 18" Minimum



DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	○	HC SIGN
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⊖	BENCHMARK	↗	RUNOFF FLOW ARROW
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•	CONCRETE BOLLARD	➔	TRAFFIC ARROW
⊖	CATCH BASIN	➔	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
⊖	GATE VALVE and BOX	⊖	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE- "U" HEADWALL
PH	EXISTING PHONE	PH	PH
OH	EXISTING ELECTRIC	OH	OH
---	PROPERTY LINE	---	---
---	EASEMENTS	---	---
---	RIGHT OF WAY	---	---
SF	EROSION CONTROL SILT FENCE	SF	SF
---	EXISTING TREELINE	---	---
X	EXISTING FENCELINE	X	X
---	MINIMUM BUILDING SETBACK LINE	---	---
---	PHASE BOUNDARY	---	---
---	EXISTING GAS LINE	---	---
---	PROPOSED GAS LINE	---	---
---	EXISTING STORM	---	---
---	PROPOSED STORM	---	---
---	EXISTING CONTOUR LINES	---	---
---	PROPOSED CONTOUR LINES	---	---
---	EXISTING SANITARY SEWER	---	---
---	PROPOSED SANITARY SEWER	---	---
---	EXISTING WATER	---	---
---	PROPOSED WATER	---	---
---	EROSION EEL	---	---



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 LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
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Submission Date: 09.06.2022
 Revision Date:

- 10-17-2022: Staff Comments
- 10-31-2022: PC Workshop Comments

Grading & Drainage Plan

SHEET
C2.7
 PROJECT #
 22528

Restrictive Covenant Agreement
 Deed Book R2358, page 781
 and
 Deed Book R2365, page 1026
 and
 Deed Book R2379, page 463

549169 Sq.Ft.

No Build Easement
 Deed Book R1969, page 1348

30' Sewer & Waterline Easement

592890 Sq.Ft.

A=240.45'
 R=273.00'
 Δ 50°05'47"
 CB=N 19°02'28" W
 CL=232.26'

Crossing South
 Phase 1, Section 1
 Plat Book 20, Page 53

TAX MAP
 29
 (8.02)
 Store Master
 Funding VII, LLC.
 D.B. R2260 PG. 1231
 R.O.M.C., TN

A=78.54'
 R=50.00'
 Δ 90°00'00"

Hatched area is a temporary turn around easement to be abandoned upon extension of the public road

Limits Of Disturbance = 189.62± Ac.

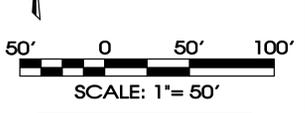
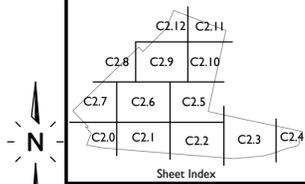
Note: All Storm Sewer Pipes Shall Be 18" Minimum



DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊖	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊗	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊖	REVISION NUMBER
⊖	EXIST. FIRE HYDRANT	⊗	RIP RAP
⊖	BENCHMARK	↗	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	↗	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	↗	TRAFFIC ARROW
⊖	CATCH BASIN	↗	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
⊖	GATE VALVE and BOX	⊖	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE - "U" HEADWALL
—	EXISTING PHONE	PH	
—	EXISTING ELECTRIC	OH	
—	PROPERTY LINE	---	
—	EASEMENTS	---	
—	RIGHT OF WAY	ROW	
—	EROSION CONTROL SILT FENCE	SF SF	
—	EXISTING TREELINE	~	
—	EXISTING FENCELINE	X X	
—	MINIMUM BUILDING SETBACK LINE	MBSL	
—	PHASE BOUNDARY	---	
—	EXISTING GAS LINE	GAS	
—	PROPOSED GAS LINE	GAS	
—	EXISTING STORM	STM	
—	PROPOSED STORM	STM	
—	EXISTING CONTOUR LINES	601	
—	PROPOSED CONTOUR LINES	601	
—	EXISTING SANITARY SEWER	SS SS	
—	PROPOSED SANITARY SEWER	SS SS	
—	EXISTING WATER	W W	
—	PROPOSED WATER	W W	
—	EROSION EEL	E E E	



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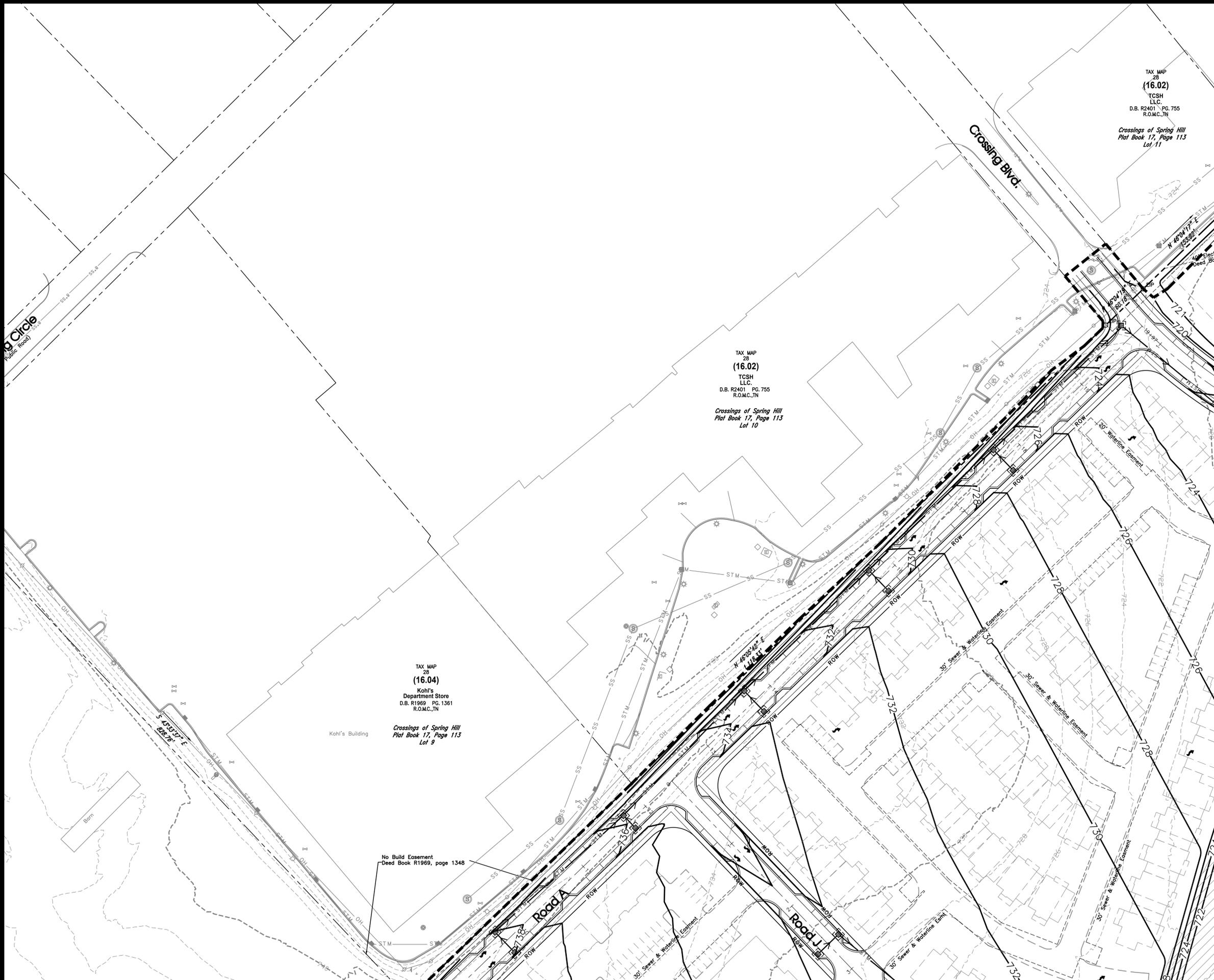


Submission Date: 09.06.2022
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- 10-17-2022: Staff Comments
- 10-31-2022: PC Workshop Comments

Grading & Drainage Plan

SHEET
C2.8
 PROJECT #
 22528



Covenant Agreement

Limits Of Disturbance = 189.62± Ac.

Note: All Storm Sewer Pipes Shall Be 18" Minimum

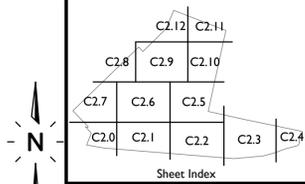
TAX MAP
28
(16.02)
TCSH
LLC
D.B. R2401 PG. 755
R.O.M.C. TN
Crossings of Spring Hill
Plot Book 17, Page 113
Lot 11



Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
+	EXIST. SIGN POST	+	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊖	EXIST. GAS RISER	⊖	POST INDICATOR VALVE
⊖	ELECTRICAL ENCLOSURE	▽	REDUCER
⊖	EXIST. WATER METER	⊖	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊖	REVISION NUMBER
○	EXIST. FIRE HYDRANT	⊖	RIP RAP
⊖	BENCHMARK	→	RUNOFF FLOW ARROW
⊖	BLOW OFF VALVE	→	SEWER/STORM FLOW DIRECTION
•	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊖	CATCH BASIN	→	TURN LANE ARROWS
⊖	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊖	AREA DRAIN	⊖	WHEEL STOP
⊖	CONCRETE THRUST BLOCK	⊖	GREASE TRAP
⊖	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊖	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊖	FIRE HYDRANT	⊖	CONCRETE SIDEWALK
⊖	GAS METER	⊖	EXTRUDED CURB
⊖	GATE VALVE and BOX	⊖	CURB and GUTTER
⊖	EXTERIOR CLEANOUT ECO	⊖	CONCRETE SWALE
⊖	WATER METER	⊖	TYPE - "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W
PROPOSED WATER	W
EROSION EEL	E E E



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**SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN**
Spring Hill, Maury County, Tennessee

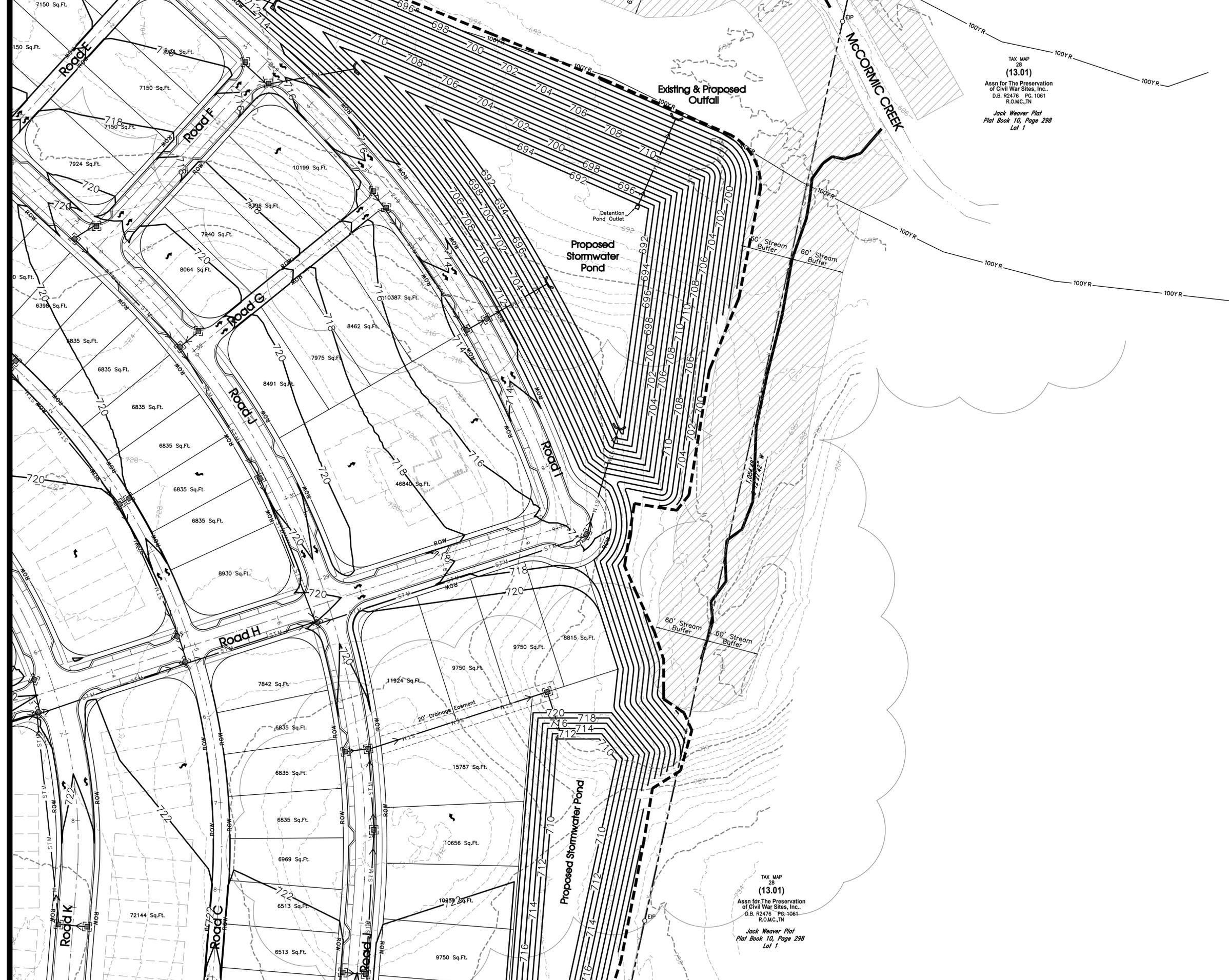


Submission Date: 09.06.2022
Revision Date:
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10-31-2022: PC Workshop Comments

Grading & Drainage Plan
SHEET
C2.9
PROJECT #
22528

Limits Of Disturbance = 189.62± Ac.

Note: All Storm Sewer Pipes Shall Be 18" Minimum



TAX MAP 28 (13.01)
 Assn for The Preservation of Civil War Sites, Inc.
 D.B. R2476 PG. 1061 R.O.M.C., TN
 Jack Weaver Plat Plat Book 10, Page 298 Lot 1

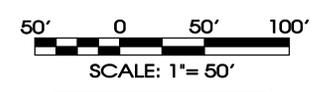
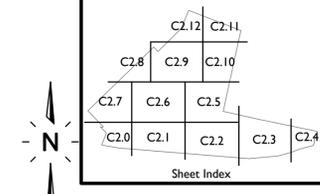
TAX MAP 28 (13.01)
 Assn for The Preservation of Civil War Sites, Inc.
 D.B. R2476 PG. 1061 R.O.M.C., TN
 Jack Weaver Plat Plat Book 10, Page 298 Lot 1

Limits Of Disturbance = 189.62± Ac.

Note: All Storm Sewer Pipes Shall Be 18" Minimum

Legend:

□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊕	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
—	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25 x	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25 x	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	→	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	→	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊕	CATCH BASIN	→	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	⊕	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	⊕	CONCRETE SIDEWALK
⊕	GAS METER	⊕	EXTRUDED CURB
⊕	GATE VALVE and BOX	⊕	CURB and GUTTER
⊕	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE- "U" HEADWALL
⊕	EXISTING PHONE	PH	PH
⊕	EXISTING ELECTRIC	OH	OH
⊕	PROPERTY LINE	---	---
⊕	EASEMENTS	---	---
⊕	RIGHT OF WAY	---	---
⊕	EROSION CONTROL SILT FENCE	SF	SF
⊕	EXISTING TREELINE	---	---
⊕	EXISTING FENCELINE	X	X
⊕	MINIMUM BUILDING SETBACK LINE	---	---
⊕	PHASE BOUNDARY	---	---
⊕	EXISTING GAS LINE	GAS	GAS
⊕	PROPOSED GAS LINE	GAS	GAS
⊕	EXISTING STORM	STM	STM
⊕	PROPOSED STORM	STM	STM
⊕	EXISTING CONTOUR LINES	---	---
⊕	PROPOSED CONTOUR LINES	601	601
⊕	EXISTING SANITARY SEWER	SS	SS
⊕	PROPOSED SANITARY SEWER	SS	SS
⊕	EXISTING WATER	W	W
⊕	PROPOSED WATER	W	W
⊕	EROSION EEL	E	E



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DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

**SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN**
 Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
 Revision Date:

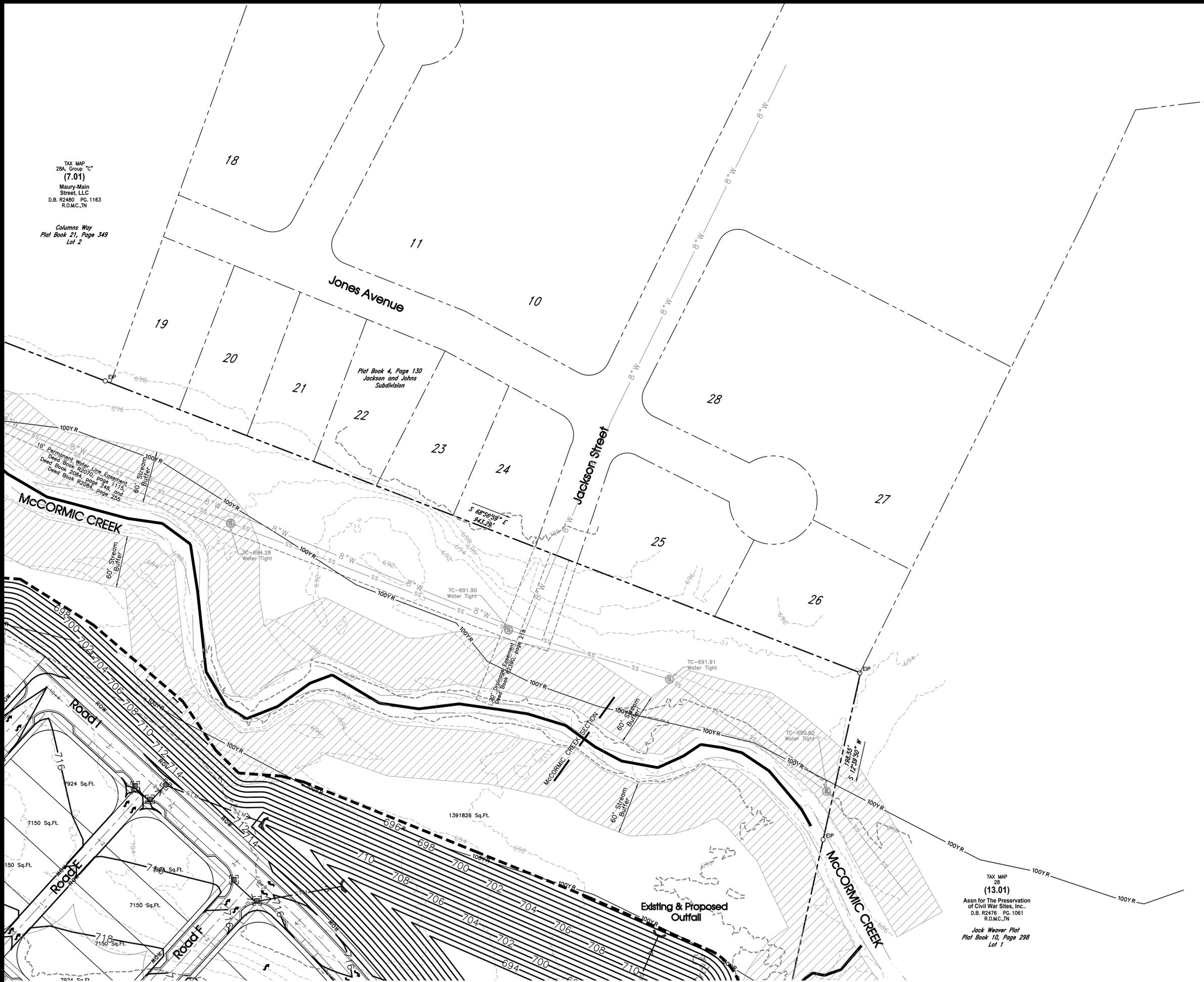
- 10-17-2022: Staff Comments
- 10-31-2022: PC Workshop Comments

Grading & Drainage Plan

SHEET
C2.10
 PROJECT #
 22528

TAX MAP
28A, Group "c"
(7.01)
Maury-Main
Street, LLC
D.B. R2480 PG. 1163
R.O.M.C., TN

Columns Way
Plat Book 21, Page 349
Lot 2

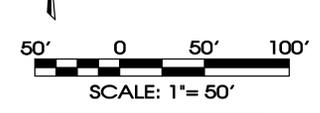
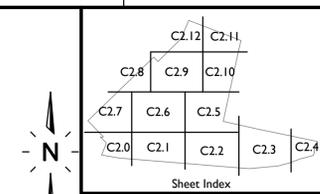


Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊕	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊕	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25'	PROPOSED SPOT ELEVATION
⊕	EXIST. TELEPHONE RISER	63.25'	EXIST. SPOT ELEVATION
⊕	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊕	ELECTRICAL ENCLOSURE	▽	REDUCER
⊕	EXIST. WATER METER	⊕	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	RIP RAP
⊕	BENCHMARK	→	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	>	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊕	CATCH BASIN	→	TURN LANE ARROWS
⊕	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	AREA DRAIN	—	WHEEL STOP
⊕	CONCRETE THRUST BLOCK	⊕	GREASE TRAP
⊕	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊕	FIRE HYDRANT	—	CONCRETE SIDEWALK
⊕	GAS METER	—	EXTRUDED CURB
⊕	GATE VALVE and BOX	—	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	—	CONCRETE SWALE
⊕	WATER METER	⊕	TYPE- "U" HEADWALL
—	EXISTING PHONE	—	PH
—	EXISTING ELECTRIC	—	OH
—	PROPERTY LINE	—	—
—	EASEMENTS	—	—
—	RIGHT OF WAY	—	ROW
—	EROSION CONTROL SILT FENCE	—	SF SF
—	EXISTING TREELINE	—	—
—	EXISTING FENCELINE	X X	X X
—	MINIMUM BUILDING SETBACK LINE	—	MBSL
—	PHASE BOUNDARY	—	—
—	EXISTING GAS LINE	—	GAS
—	PROPOSED GAS LINE	—	GAS
—	EXISTING STORM	—	STM
—	PROPOSED STORM	—	STM
—	EXISTING CONTOUR LINES	—	601
—	PROPOSED CONTOUR LINES	—	601
—	EXISTING SANITARY SEWER	—	SS
—	PROPOSED SANITARY SEWER	—	SS
—	EXISTING WATER	—	W
—	PROPOSED WATER	—	W
—	EROSION EEL	—	E E E



DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



SEC, Inc.
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 LANDSCAPE ARCHITECTURE

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Grading & Drainage Plan
 SHEET
C2.11
 PROJECT #
 22528

Limits Of Disturbance = 189.62± Ac.

Note: All Storm Sewer Pipes Shall Be 18" Minimum

TAX MAP
28
(13.01)
Assn for The Preservation
of Civil War Sites, Inc.
D.B. R2476 PG. 1061
R.O.M.C., TN

Jack Weaver Plat
Plat Book 10, Page 298
Lot 1

Crossing Circle
(60' Right of Way)

TAX MAP 28 (15.04)
Maury-Main Street, LLC
D.B. R2525 PG. 26 R.O.M.C., TN
Columns Way Plat Book 21, Page 394 Lot 051

Crossings of Spring Hill Plat Book 17, Page 113 Lot 13

Crossings of Spring Hill Plat Book 17, Page 113 Lot 15

TAX MAP 28 (16.16)
TCSH LLC
D.B. R2401 PG. 755 R.O.M.C., TN

TAX MAP 28 (16.15)
TCSH LLC
D.B. R2401 PG. 755 R.O.M.C., TN

TAX MAP 28 (16.03)
Target Corporation
D.B. R2020 PG. 399 R.O.M.C., TN

Crossings of Spring Hill Plat Book 17, Page 113 Lot 14

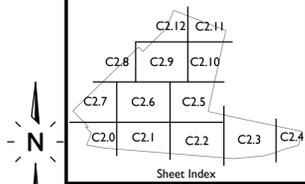
TAX MAP 28 (16.02)
TCSH LLC
D.B. R2401 PG. 755 R.O.M.C., TN

Crossings of Spring Hill Plat Book 17, Page 113 Lot 11

TAX MAP 28A, Group "C" (7.01)
Maury-Main Street, LLC
D.B. R2480 PG. 1163 R.O.M.C., TN
Columns Way Plat Book 21, Page 349 Lot 2

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET FILTER PROTECTION
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	HEADWALL
○	EXIST. MANHOLE (SEWER and PHONE)	—	WINGED HEADWALL
⊖	EXIST. CATCH BASIN (STORM SEWER)	○	MANHOLE
⊗	EXIST. WATER/GAS VALVE	63.25'	PROPOSED SPOT ELEVATION
⊞	EXIST. TELEPHONE RISER	63.25'	EXIST. SPOT ELEVATION
⊞	EXIST. GAS RISER	●	POST INDICATOR VALVE
⊞	ELECTRICAL ENCLOSURE	▽	REDUCER
⊞	EXIST. WATER METER	⊞	REMOTE FIRE DEPT. CONNECTION
○	EXIST. UTILITY POLE	⊞	REVISION NUMBER
⊞	EXIST. FIRE HYDRANT	⊞	RIP RAP
⊞	BENCHMARK	→	RUNOFF FLOW ARROW
⊞	BLOW OFF VALVE	>	SEWER/STORM FLOW DIRECTION
●	CONCRETE BOLLARD	→	TRAFFIC ARROW
⊞	CATCH BASIN	→	TURN LANE ARROWS
⊞	CURB INLET	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊞	AREA DRAIN	⊞	WHEEL STOP
⊞	CONCRETE THRUST BLOCK	⊞	GREASE TRAP
⊞	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊞	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊞	FIRE HYDRANT	⊞	CONCRETE SIDEWALK
⊞	GAS METER	⊞	EXTRUDED CURB
⊞	GATE VALVE and BOX	⊞	CURB and GUTTER
○	EXTERIOR CLEANOUT ECO	⊞	CONCRETE SWALE
⊞	WATER METER	⊞	TYPE - "U" HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	---
EXISTING FENCELINE	X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W
EROSION EEL	E E E



SEC, Inc.
SITE ENGINEERING CONSULTANTS
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LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
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SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
Revision Date:
10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

Grading & Drainage Plan
SHEET
C2.12
PROJECT #
22528

Limits Of Disturbance = 189.62± Ac.

Note: All Storm Sewer Pipes Shall Be 18" Minimum

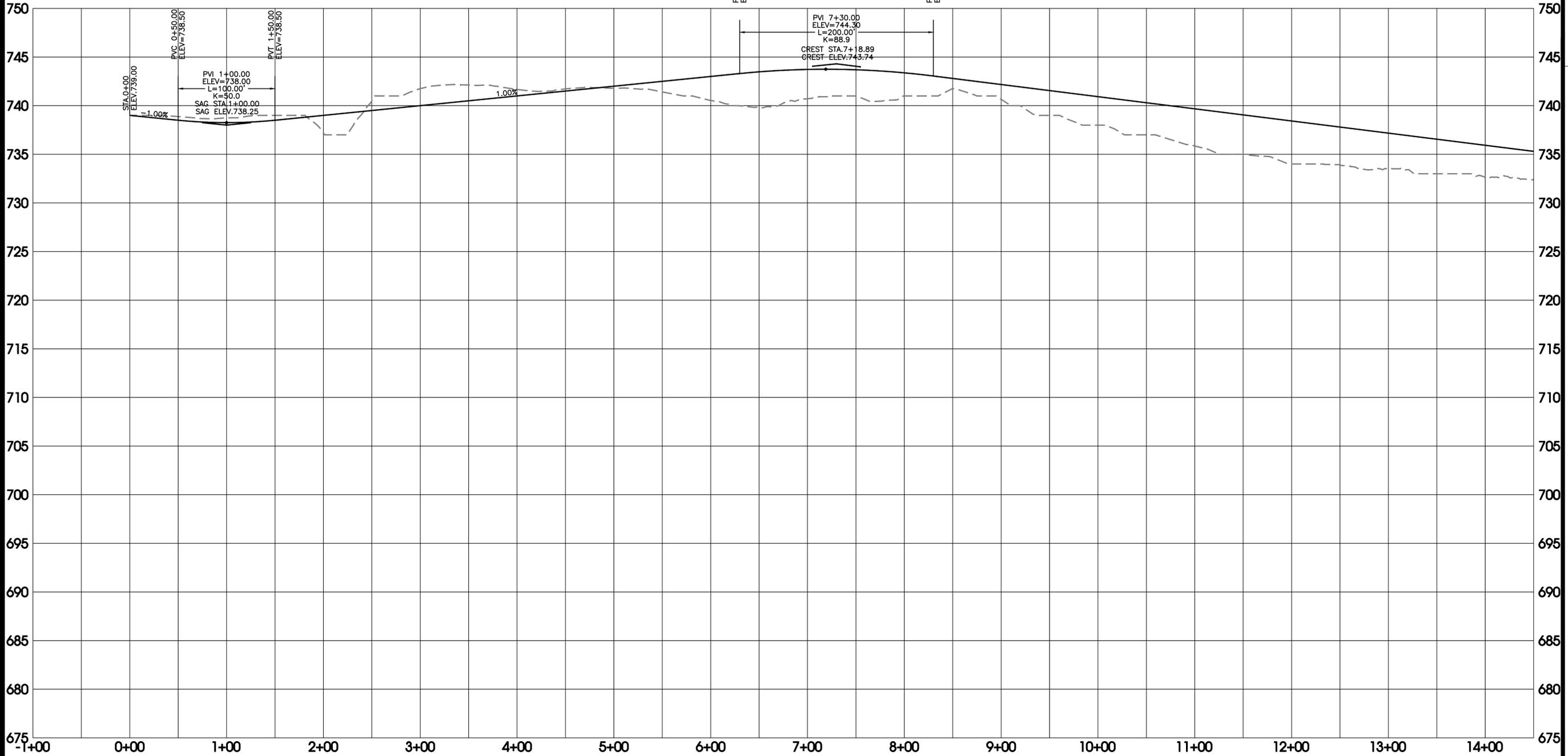


DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee

CROSSING CIRCLE ROAD PROFILE

CROSSING CIRCLE ROAD PROFILE



———— PROPOSED GRADE
 - - - - - EXISTING GRADE

1"=50' Horiz
1"=5' Vert

SEC, Inc.

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850 MIDDLE TENNESSEE BOULEVARD
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Road Profiles

SHEET
C3.0

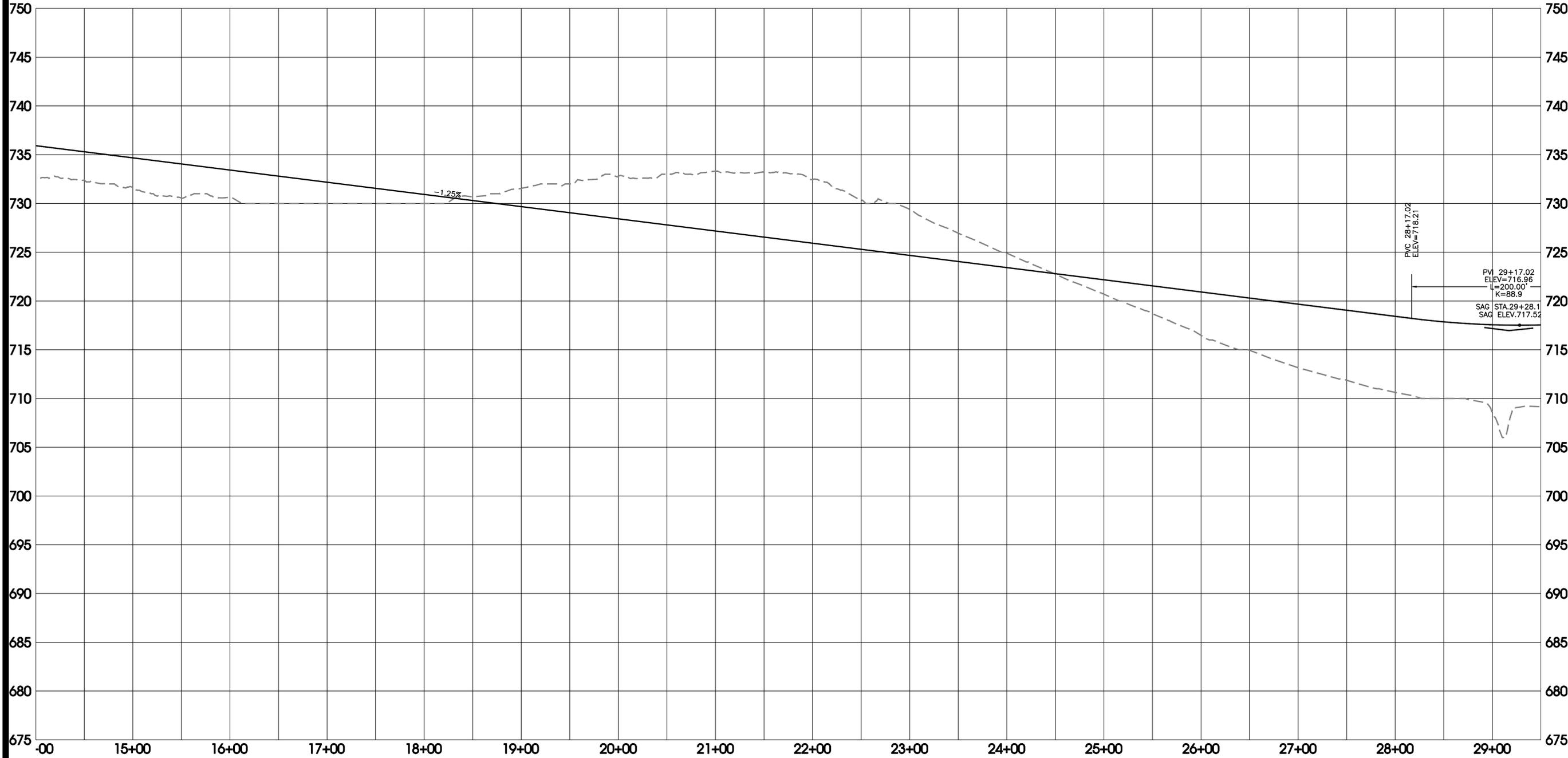
PROJECT #
22528



DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

CROSSING CIRCLE ROAD PROFILE

CROSSING CIRCLE ROAD



SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



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1"=50' Horiz
1"=5' Vert

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Road Profiles

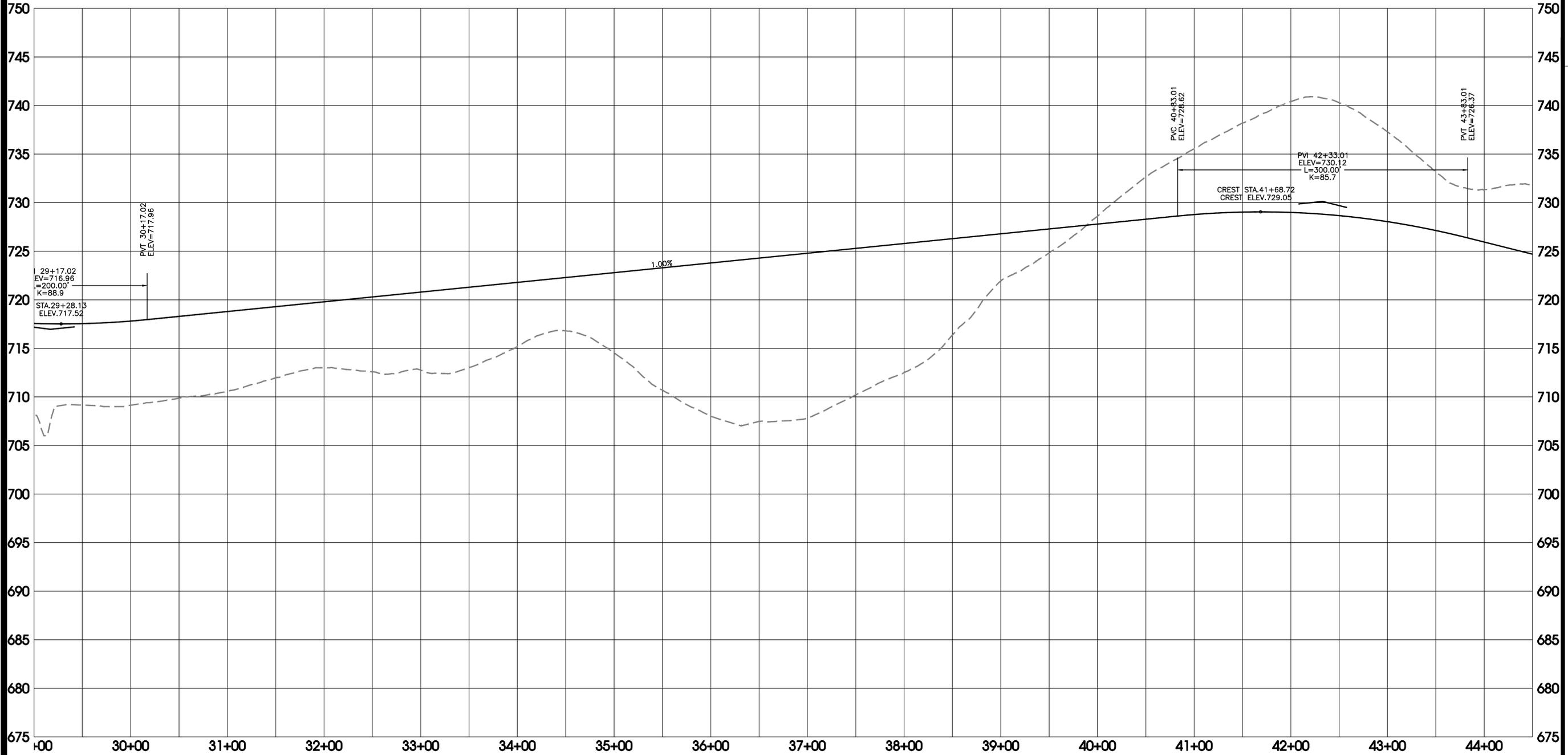
SHEET
C3.1

PROJECT #
22528

— PROPOSED GRADE
- - - - - EXISTING GRADE

E ROAD PROFILE

CROSSING CIRCLE ROAD PROFILE



————— PROPOSED GRADE
 - - - - - EXISTING GRADE

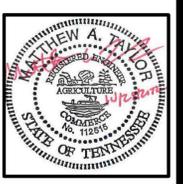
1" = 50' Horiz
 1" = 5' Vert

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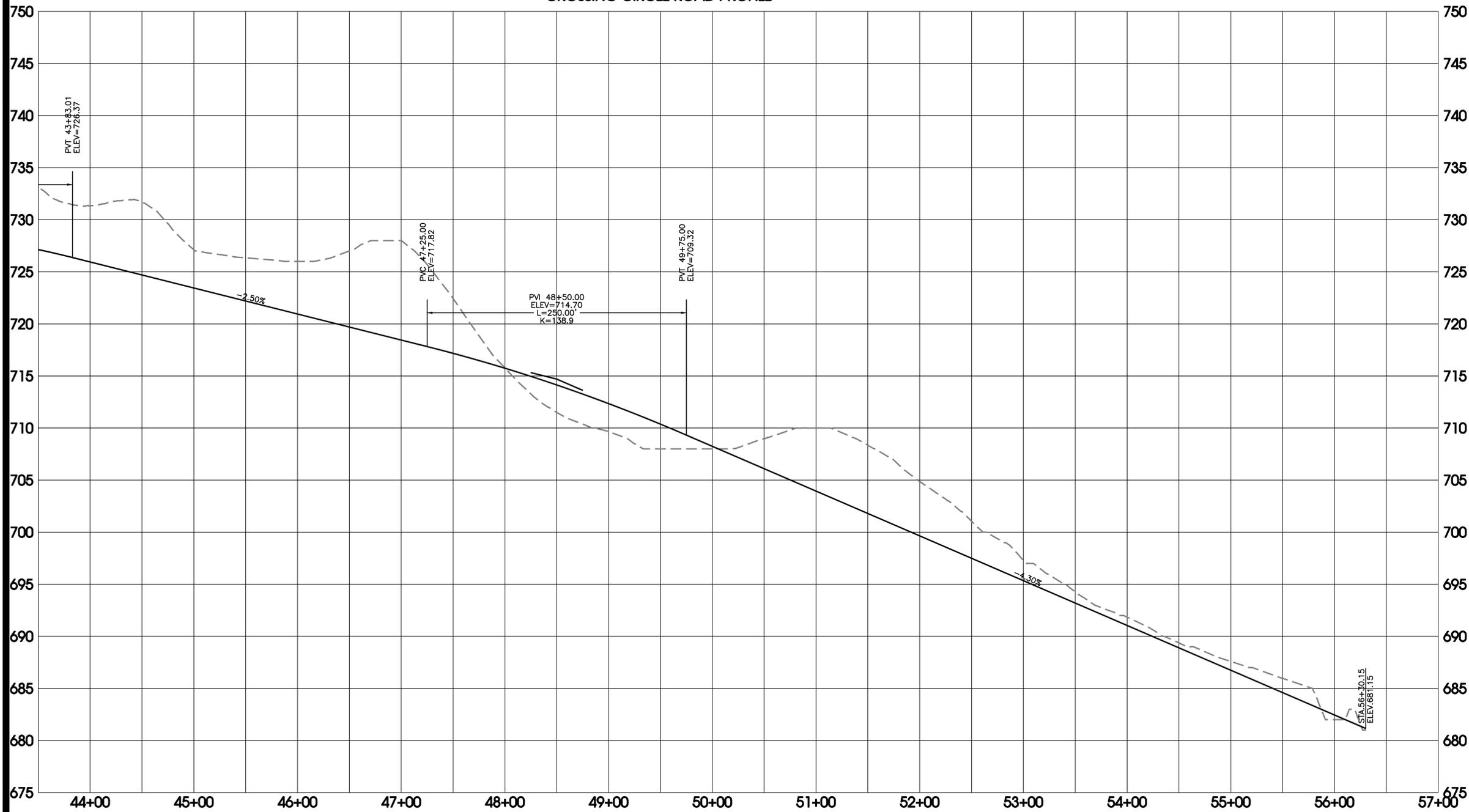
SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



Submittal Date: 09.06.2022
 Revision Date:
 10-17-2022: Staff Comments
 10-31-2022: PC Workshop Comments

Road Profiles
 SHEET
C3.2
 PROJECT #
 22528

CROSSING CIRCLE ROAD PROFILE



— PROPOSED GRADE
- - - EXISTING GRADE

1"=50' Horiz
1"=5' Vert

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Road Profiles

SHEET
C3.3
PROJECT #
22528

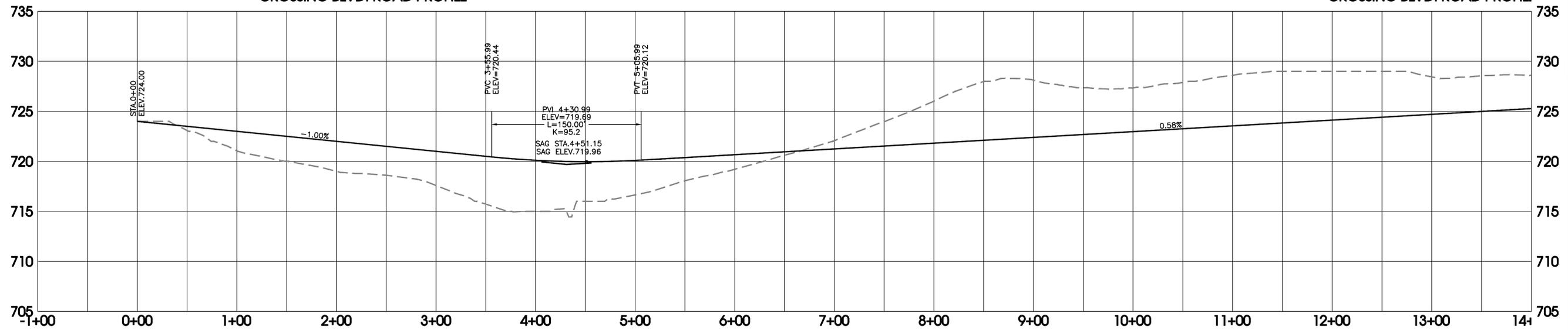


DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

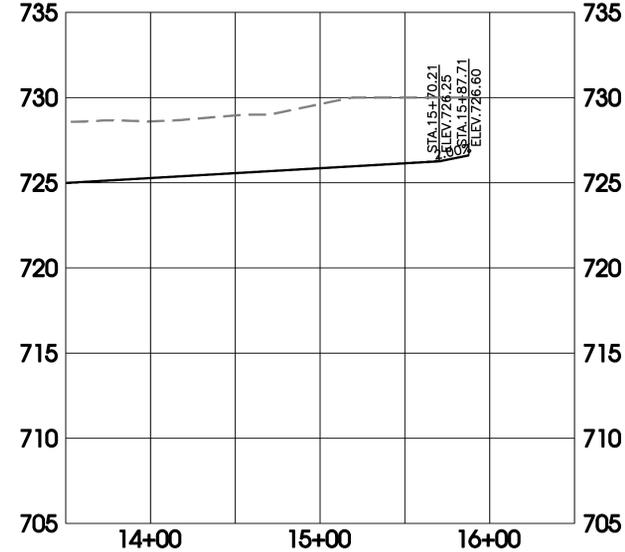
SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee

CROSSING BLVD. ROAD PROFILE

CROSSING BLVD. ROAD PROFI



PROFILE



———— PROPOSED GRADE
----- EXISTING GRADE

1"=50' Horiz
1"=5' Vert

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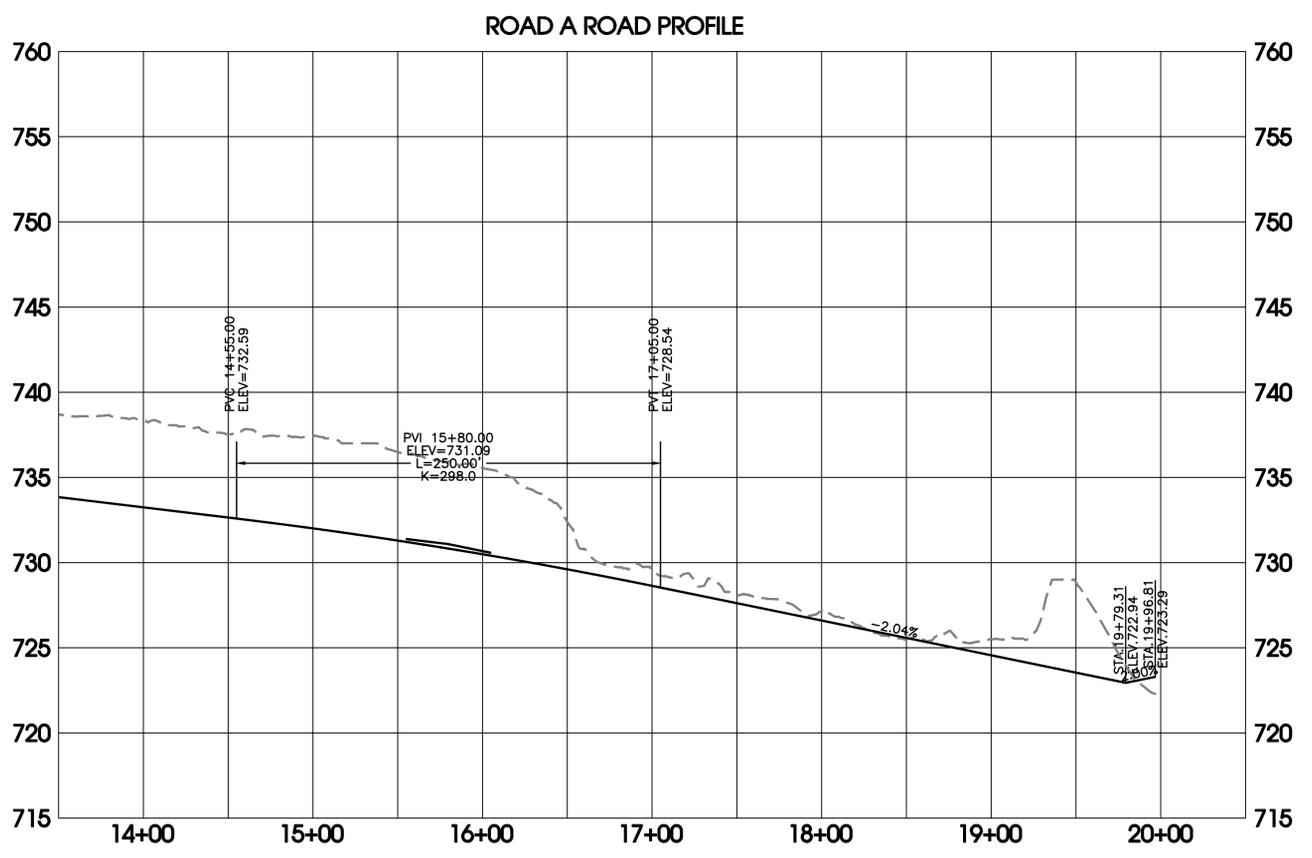
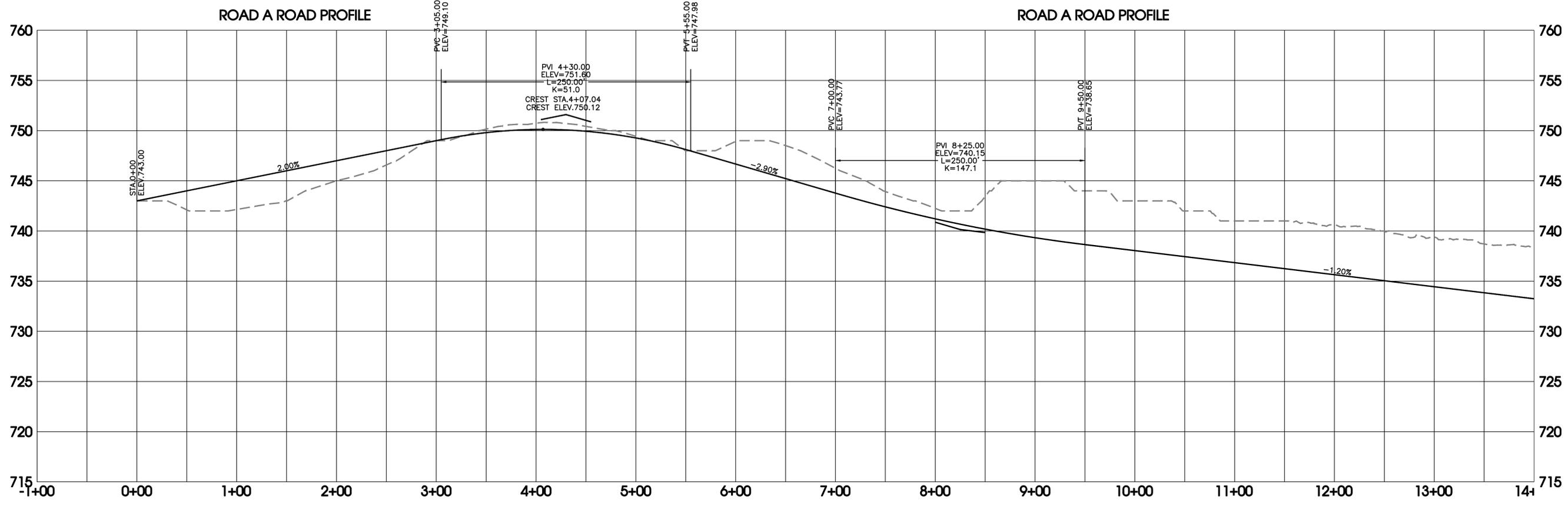
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Road Profiles

SHEET
C3.4
PROJECT #
22528



— PROPOSED GRADE
- - - EXISTING GRADE

1"=50' Horiz
1"=5' Vert

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Road Profiles

SHEET
C3.5
PROJECT #
22528



Submission Date: 09.06.2022

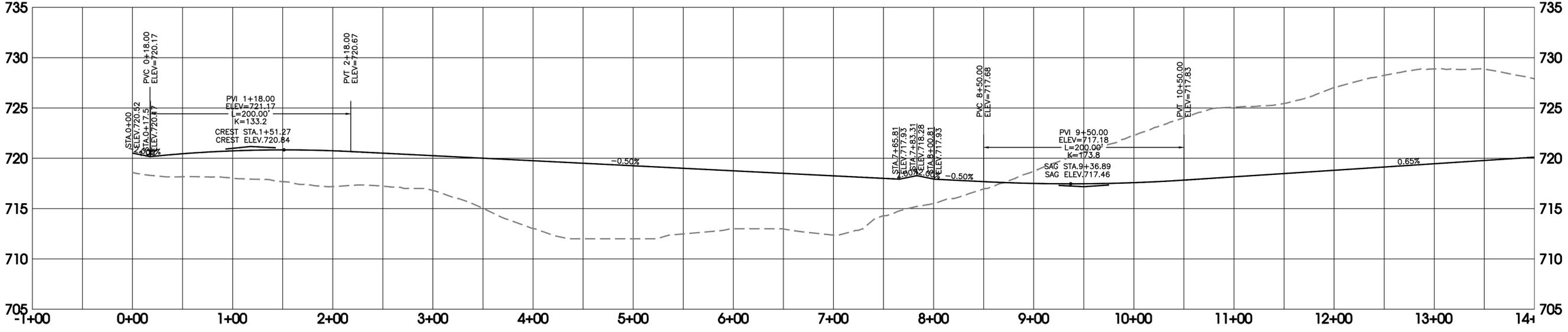
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△	10-17-2022: Staff Comments
△	10-31-2022: PC Workshop Comments
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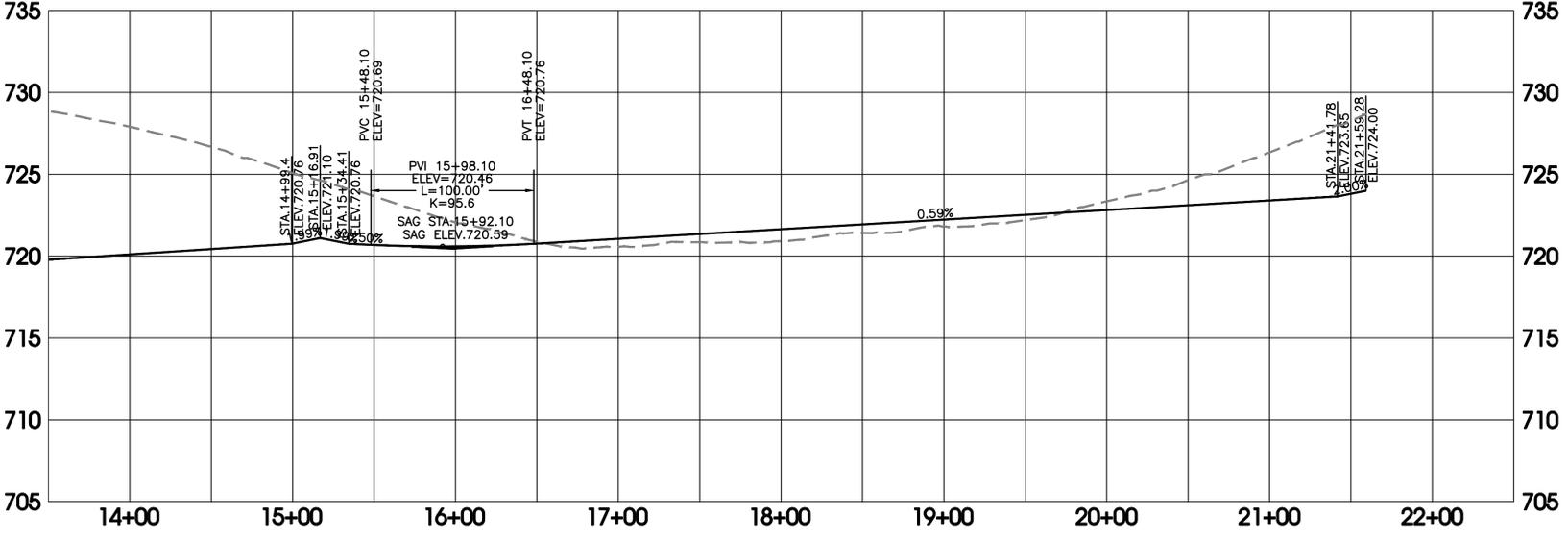
Road Profiles

SHEET
C3.6
PROJECT #
22528

ROAD C ROAD PROFILE



ROAD C ROAD PROFILE



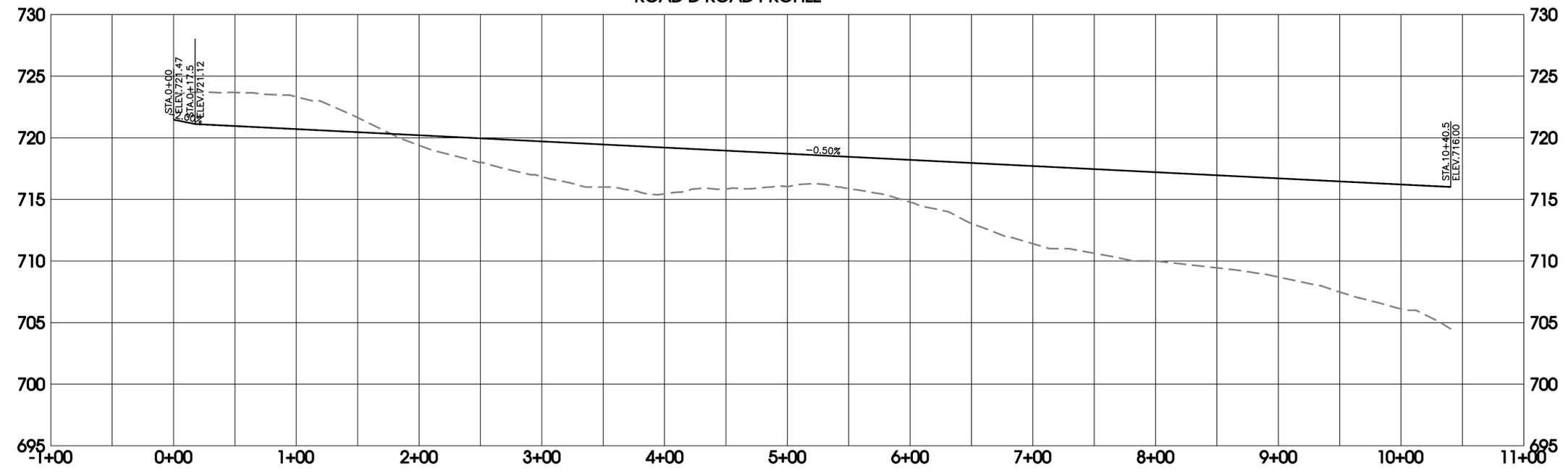
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1"=50' Horiz
1"=5' Vert

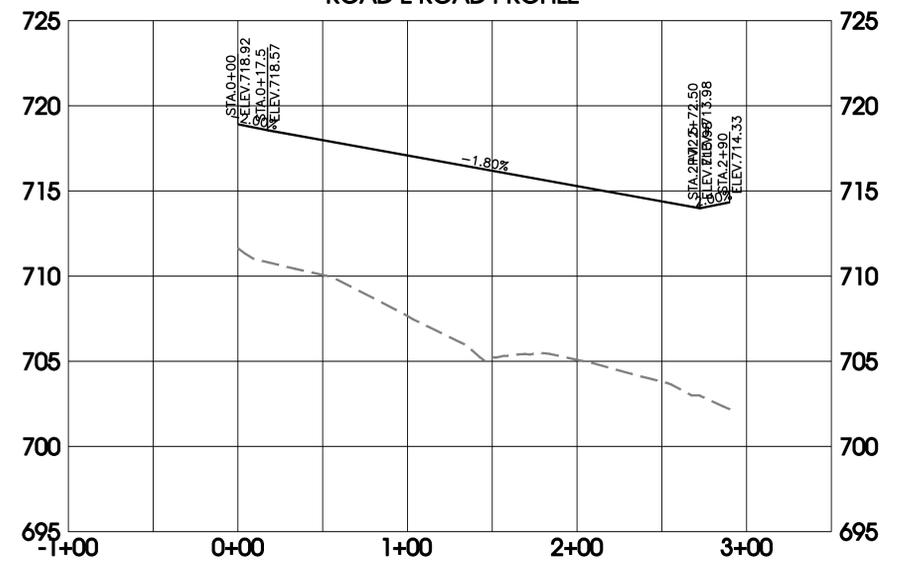
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SEC PROJECT # 22528

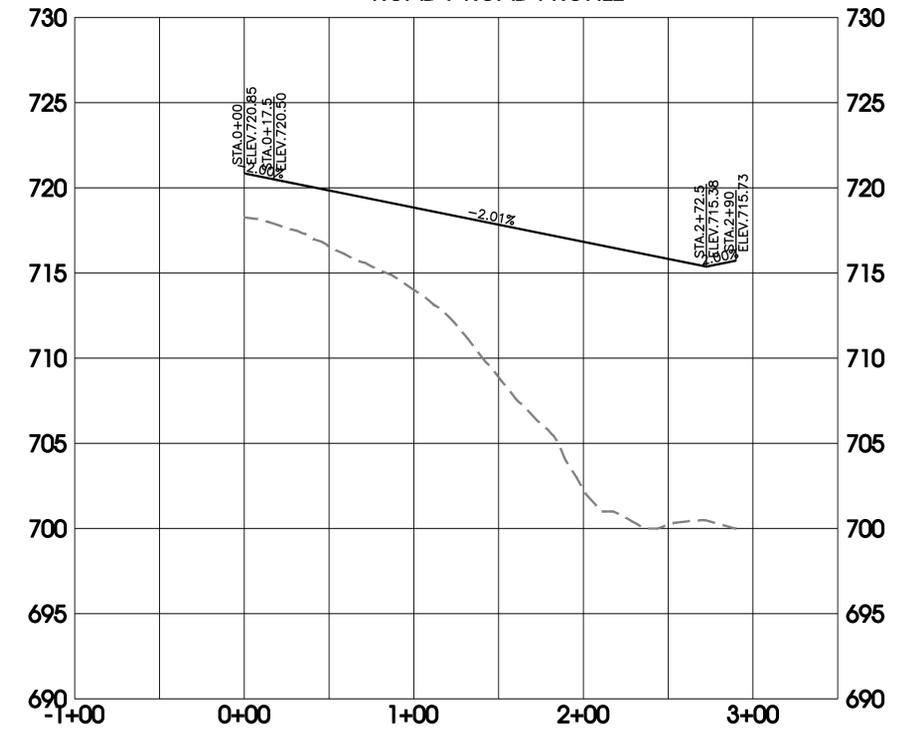
ROAD D ROAD PROFILE



ROAD E ROAD PROFILE



ROAD F ROAD PROFILE

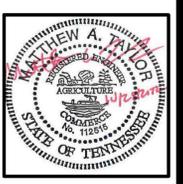


— PROPOSED GRADE
- - - EXISTING GRADE

1"=50' Horiz
1"=5' Vert

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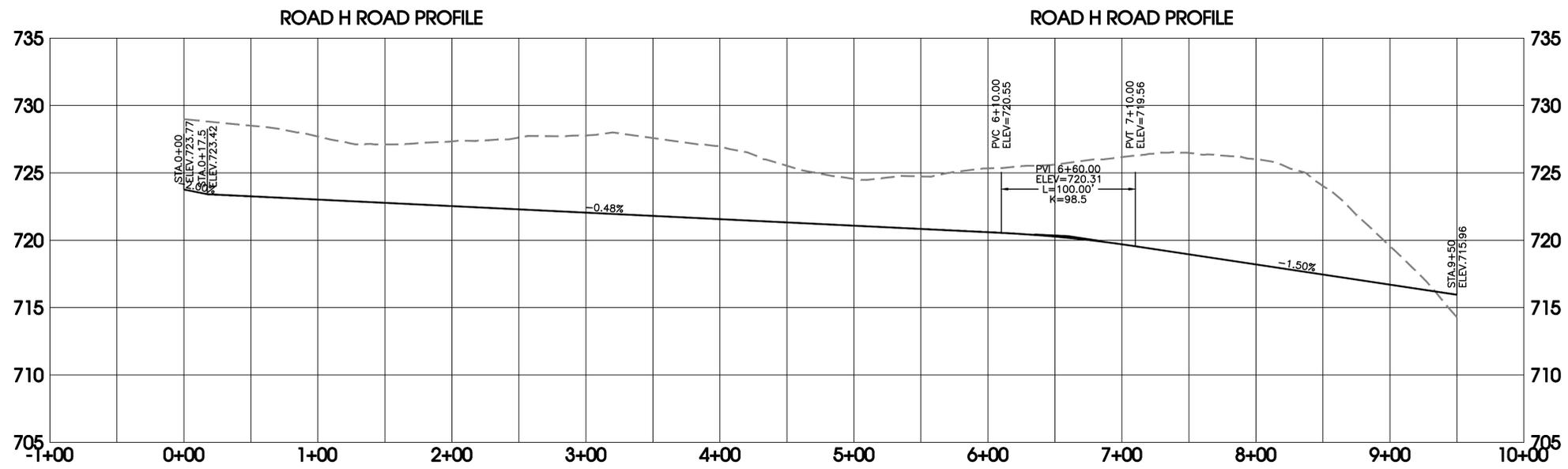
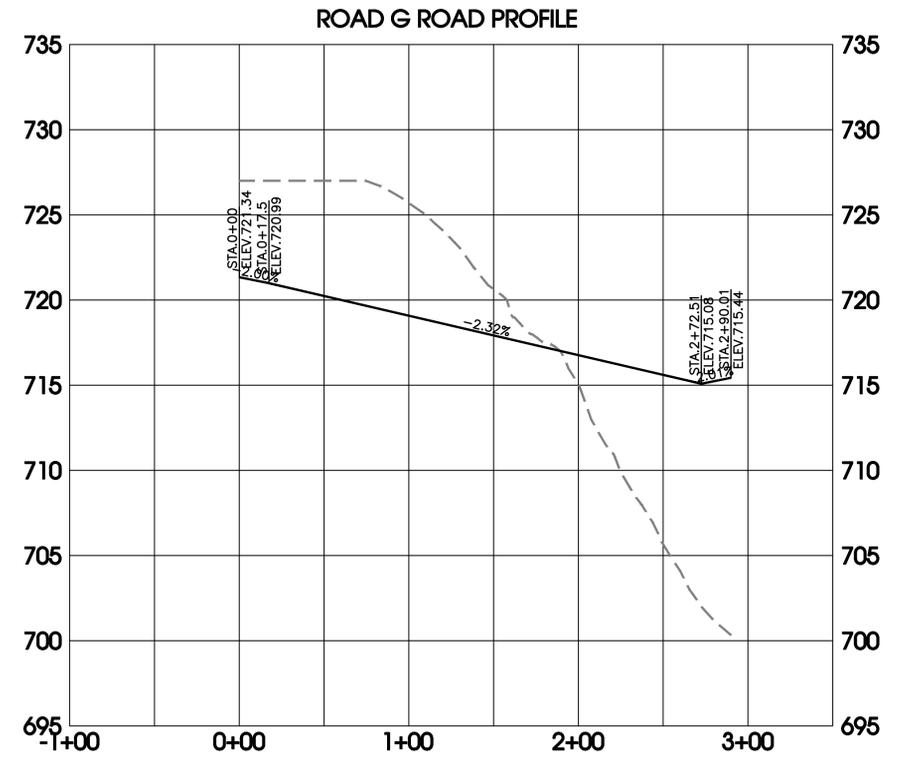


Submission Date: 09.06.2022
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- △ 10-17-2022: Staff Comments
- △ 10-31-2022: PC Workshop Comments
- △

Road Profiles

SHEET
C3.7
PROJECT #
22528



———— PROPOSED GRADE
----- EXISTING GRADE

1"=50' Horiz
1"=5' Vert

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PROJECT # 22528

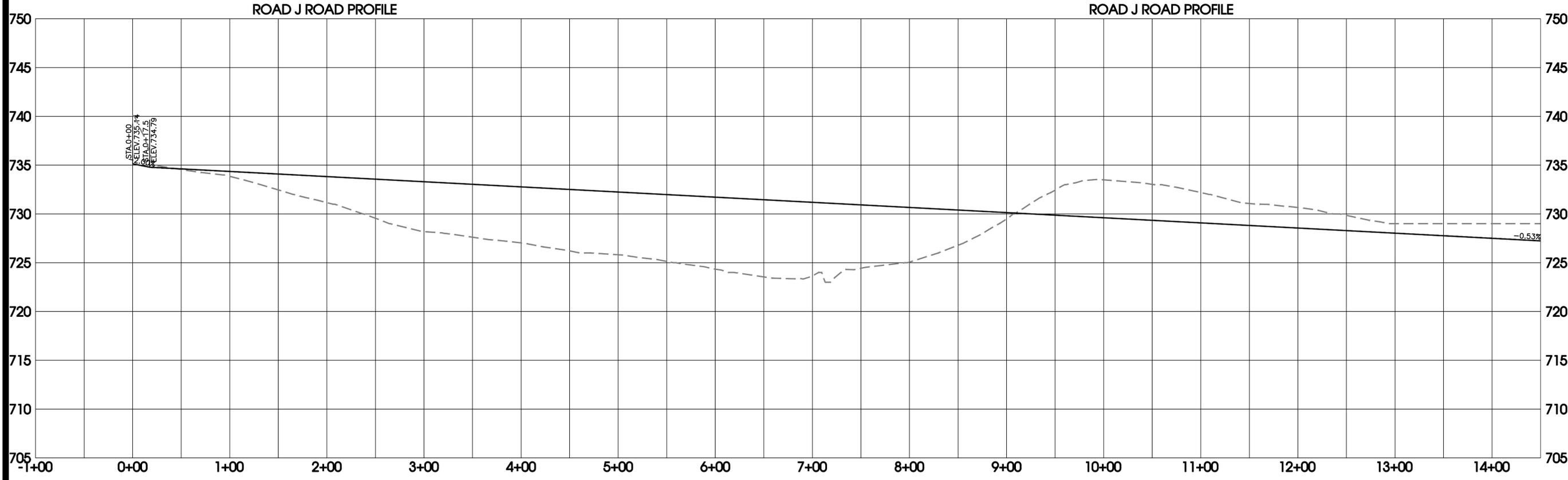
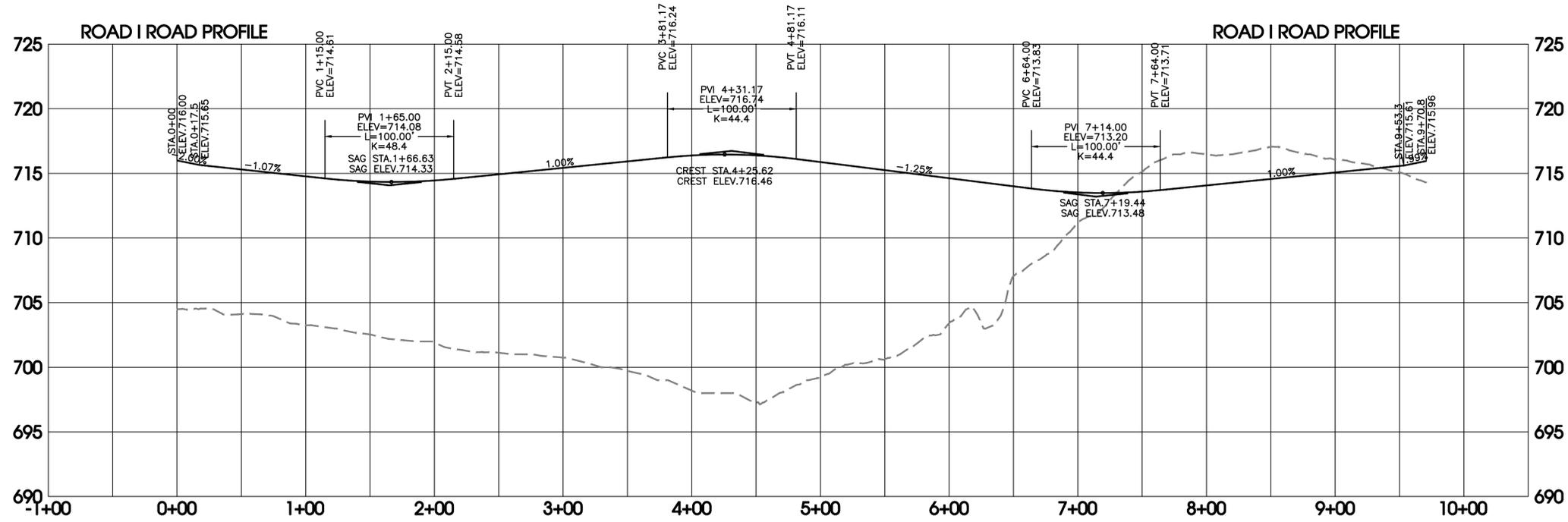


Submission Date: 09.06.2022
Revision Date:

- △ 10-17-2022: Staff Comments
- △ 10-31-2022: PC Workshop Comments
- △

Road Profiles

SHEET
C3.8
PROJECT #
22528



— PROPOSED GRADE
- - - EXISTING GRADE

1"=50' Horiz
1"=5' Vert

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LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
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SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
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10-17-2022: Staff Comments
10-31-2022: PC Workshop Comments

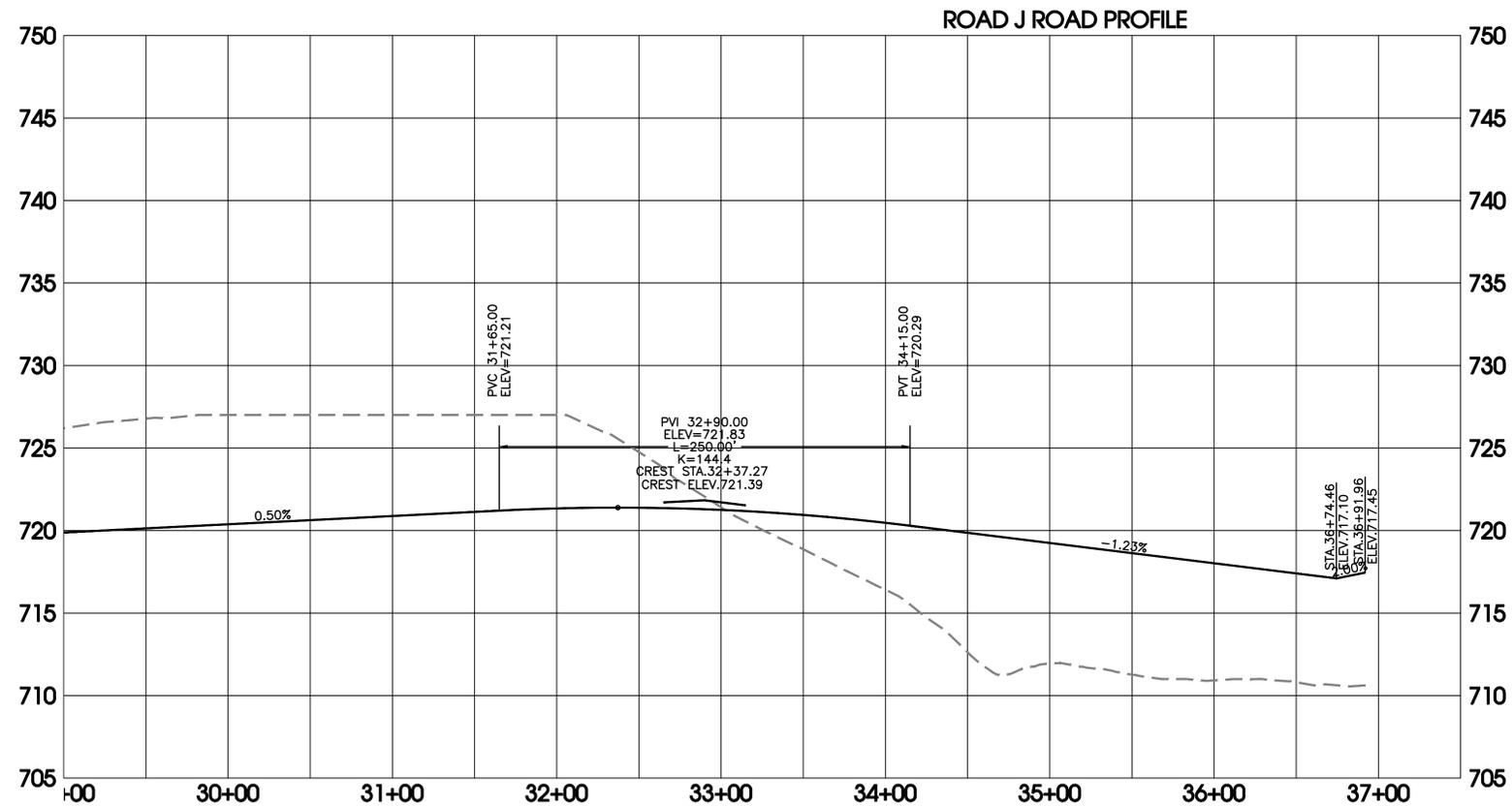
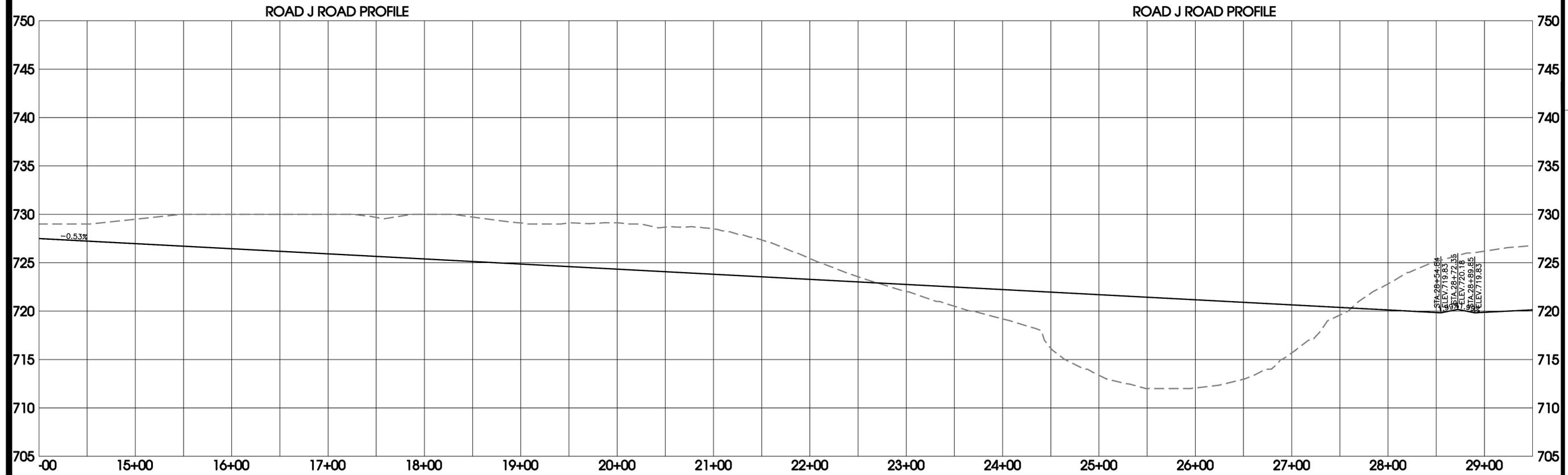
Road Profiles

SHEET
C3.9
PROJECT #
22528



DEVELOPMENT PLANNING AND
LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee



— PROPOSED GRADE
- - - EXISTING GRADE

1"=50' Horiz
1"=5' Vert

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SITE ENGINEERING CONSULTANTS
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850 MIDDLE TENNESSEE BOULEVARD
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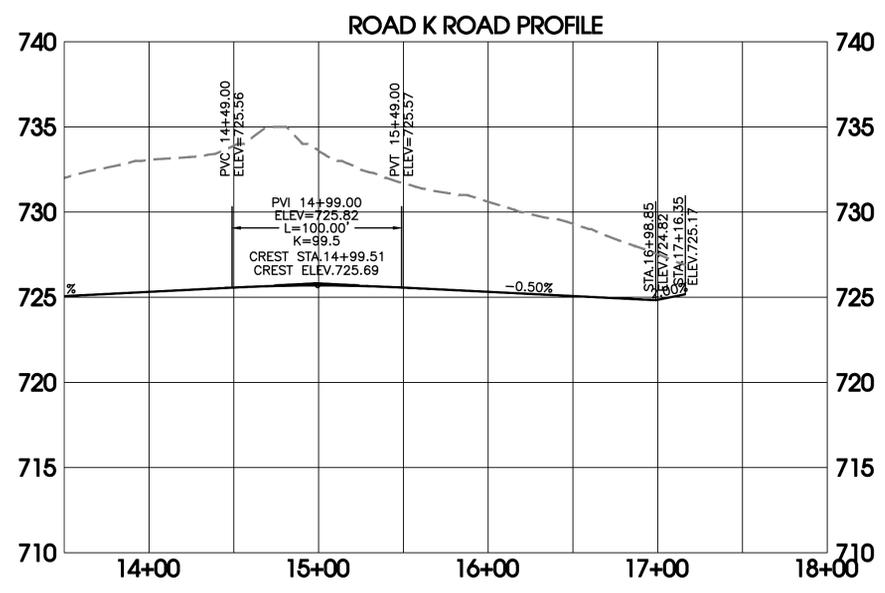
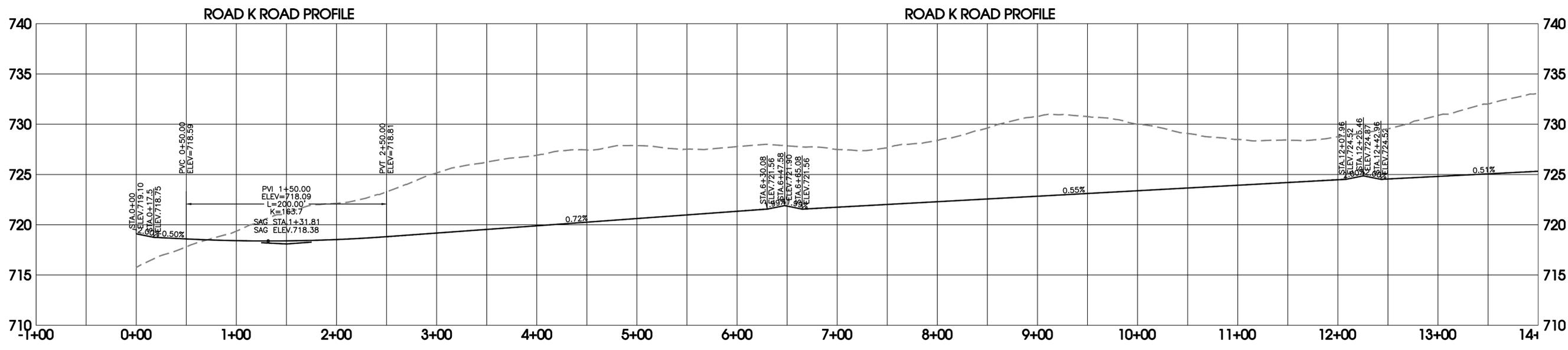
△ 10-31-2022: PC Workshop Comments

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Road Profiles

SHEET
C3.10

PROJECT #
22528

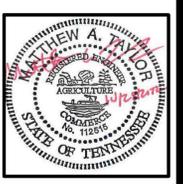


— PROPOSED GRADE
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1"=5' Vert

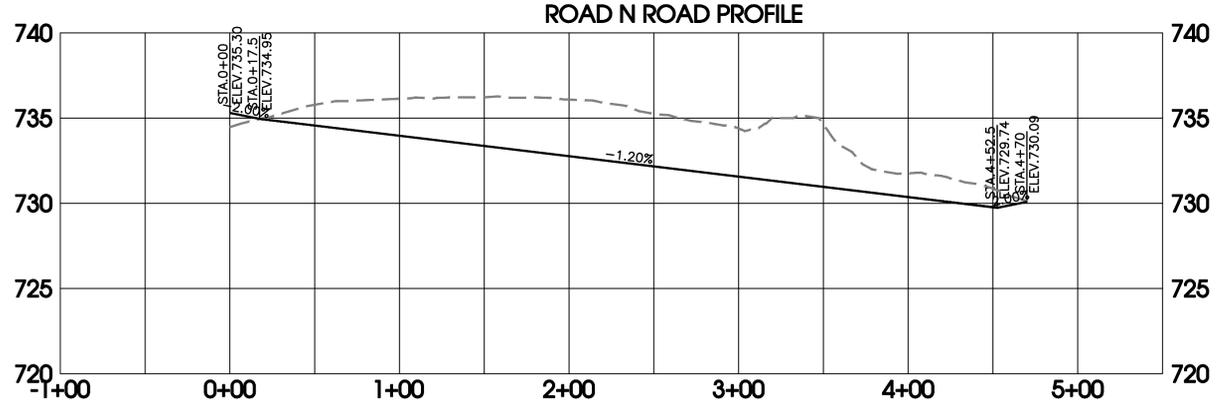
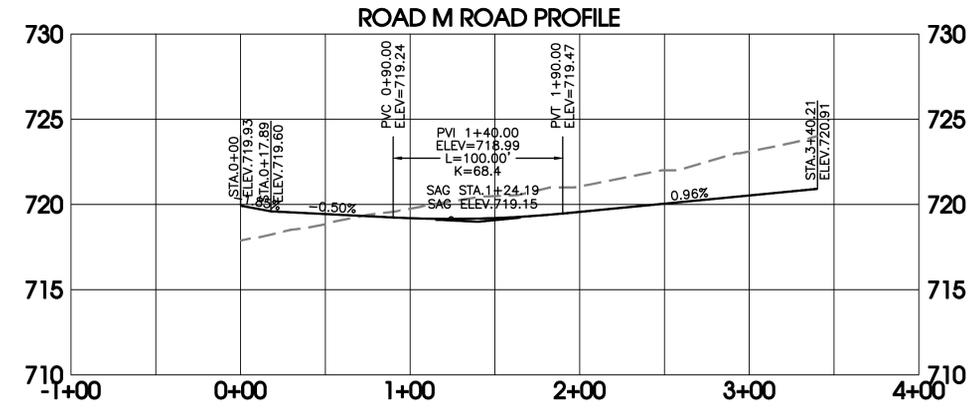
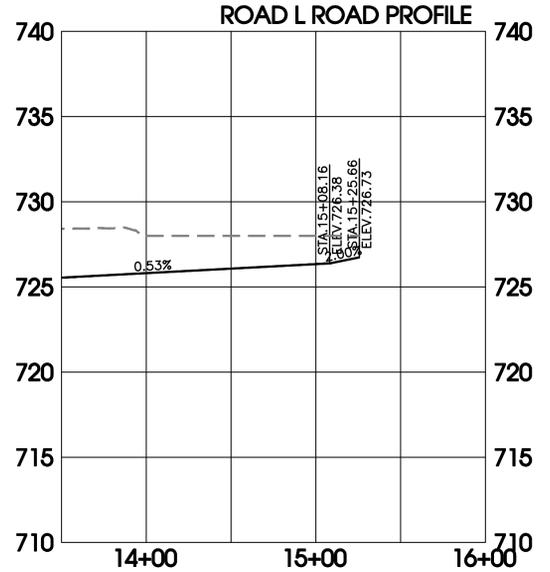
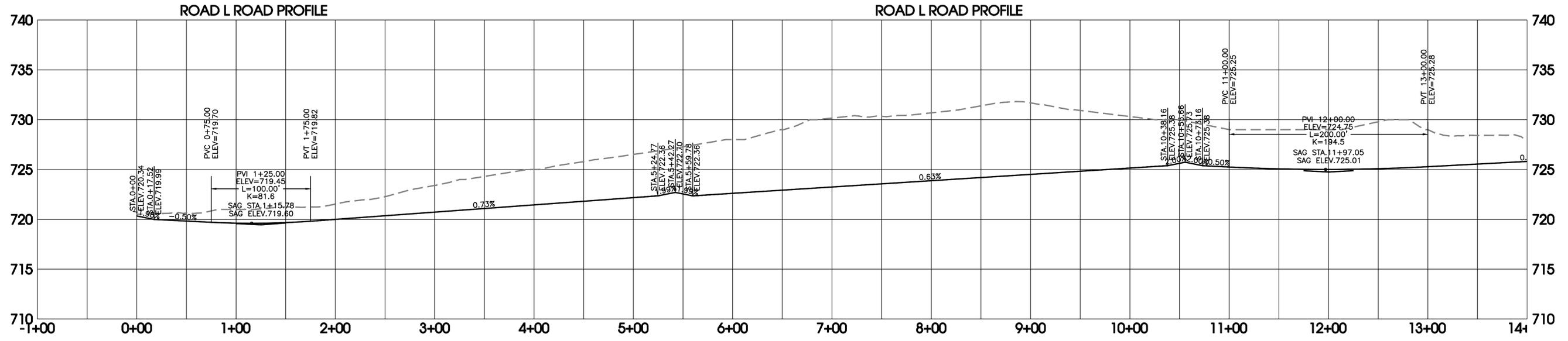
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SHEET
C3.11
PROJECT #
22528



— PROPOSED GRADE
- - - EXISTING GRADE

1" = 50' Horiz
1" = 5' Vert

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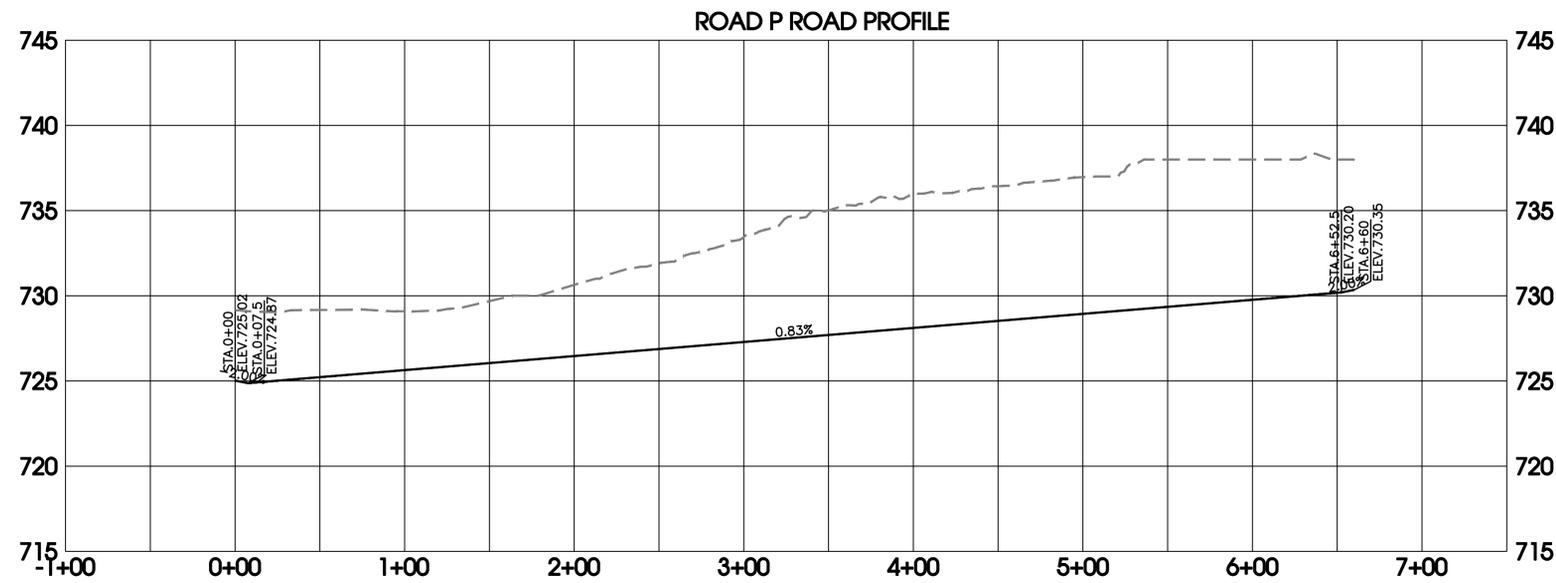
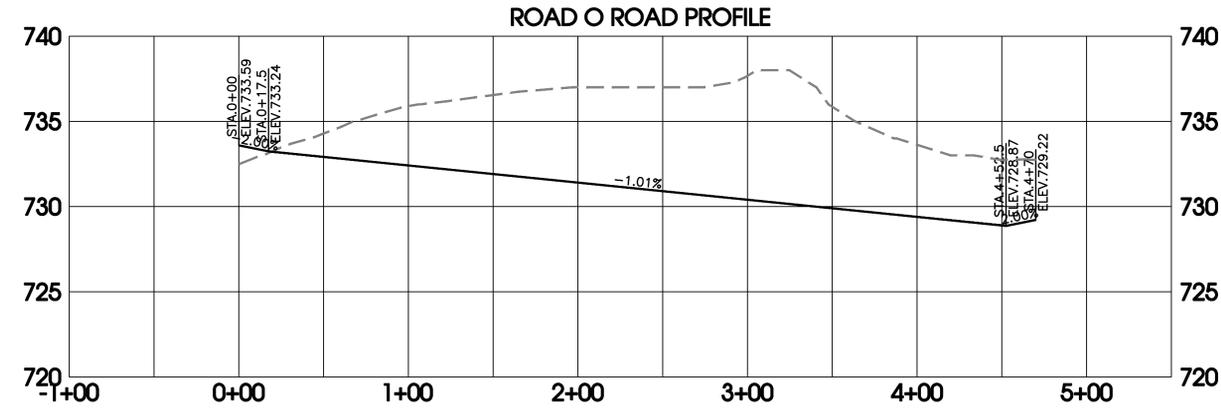
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Road Profiles



———— PROPOSED GRADE
----- EXISTING GRADE

1"=50' Horiz
1"=5' Vert

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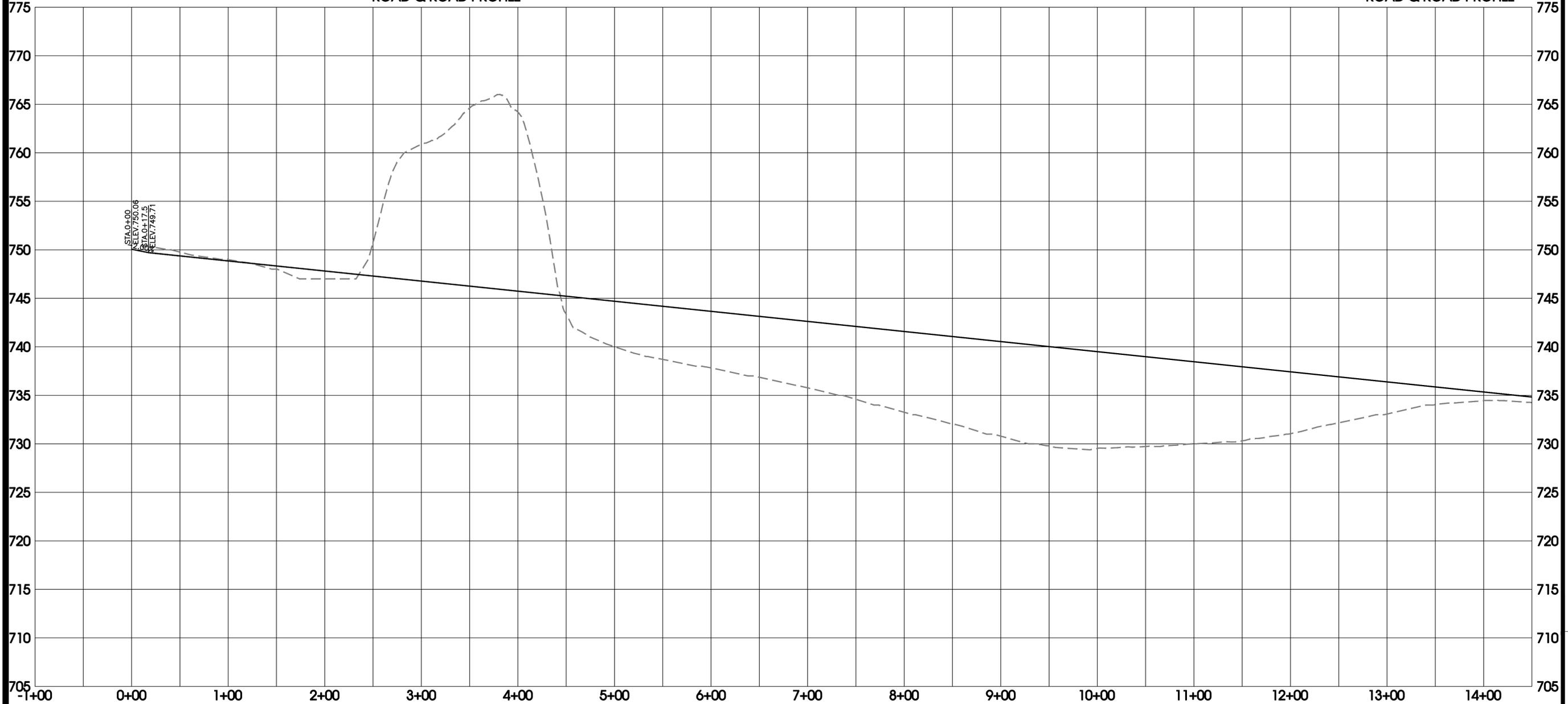
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- △ 10-31-2022: PC Workshop Comments
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Road Profiles

SHEET
C3.13
PROJECT #
22528

ROAD Q ROAD PROFILE

ROAD Q ROAD PROFILE



STA 0+00
ELEV 750.06
STA 0+17.5
ELEV 748.71

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
Spring Hill, Maury County, Tennessee

1"=50' Horiz
1"=5' Vert

———— PROPOSED GRADE
----- EXISTING GRADE

SEC, Inc.

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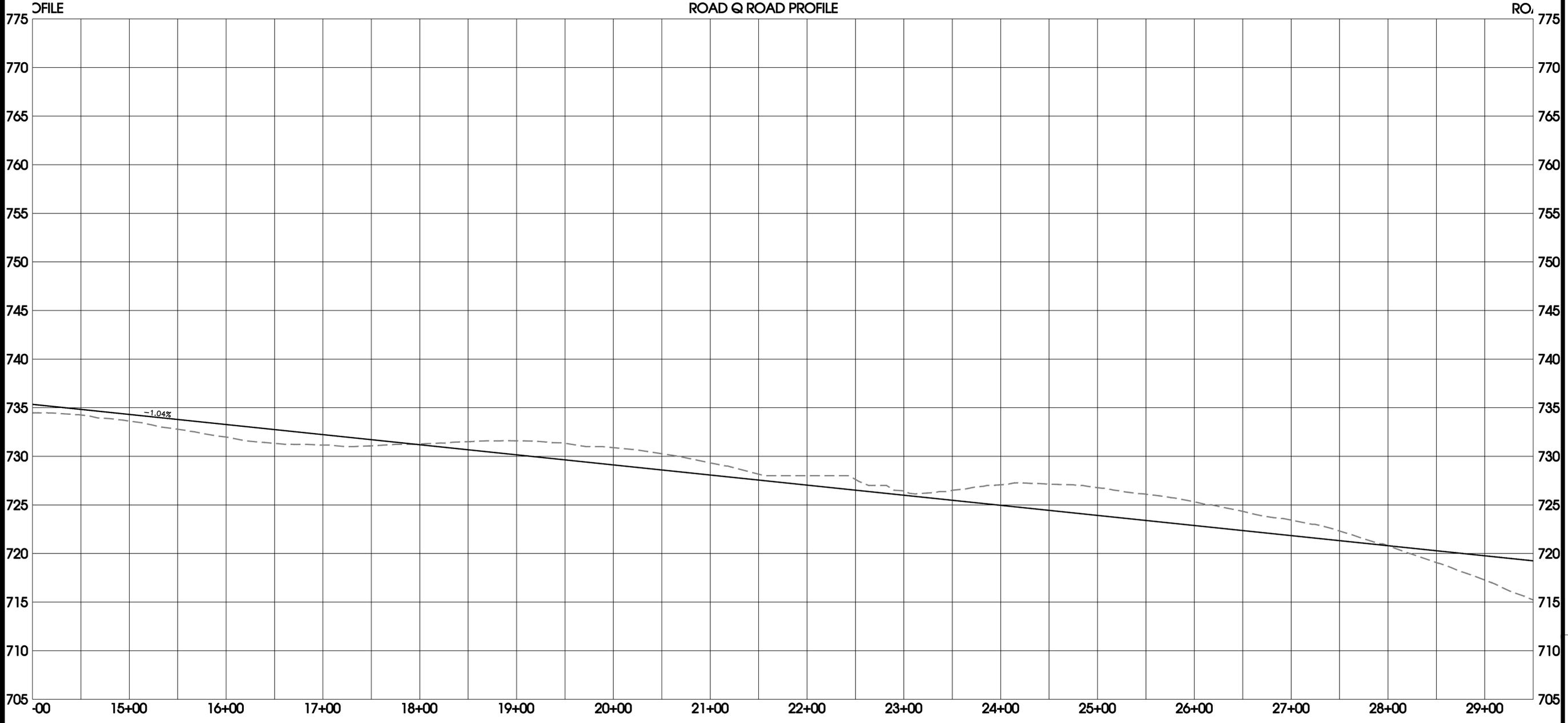
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Road Profiles
SHEET
C3.14
PROJECT #
22528



Submittal Date: 09.06.2022
Revision Date:
 △ 10-17-2022: Staff Comments
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ROAD Q ROAD PROFILE



PROFILE

ROAD

-1.04%

————— PROPOSED GRADE
- - - - - EXISTING GRADE

1"=50' Horiz
1"=5' Vert

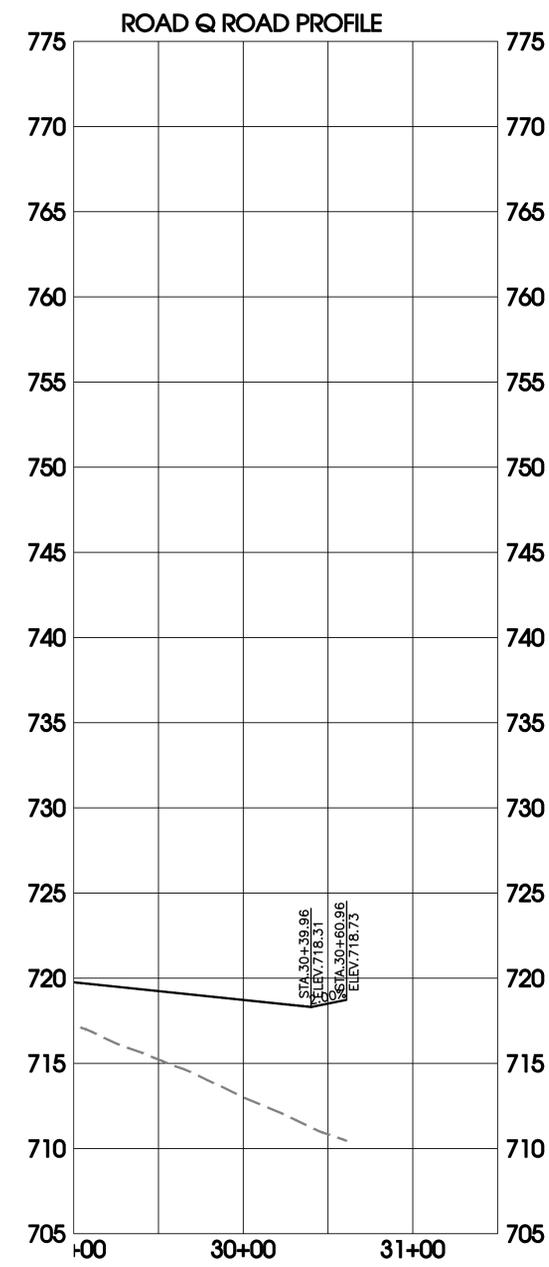
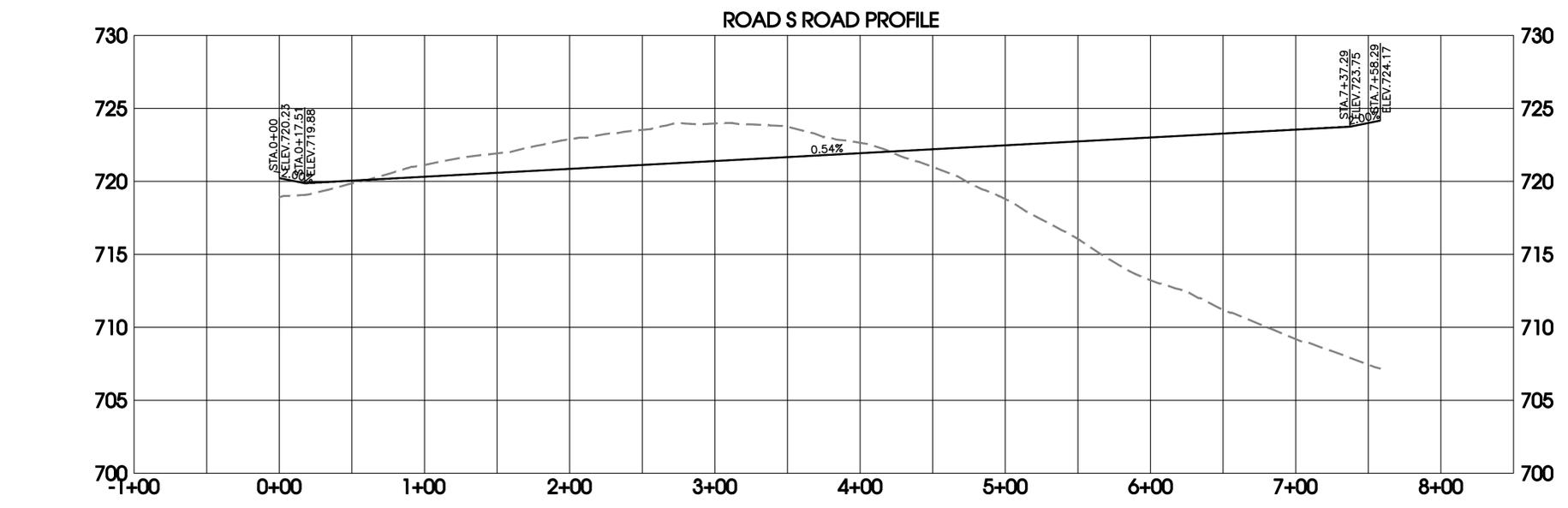
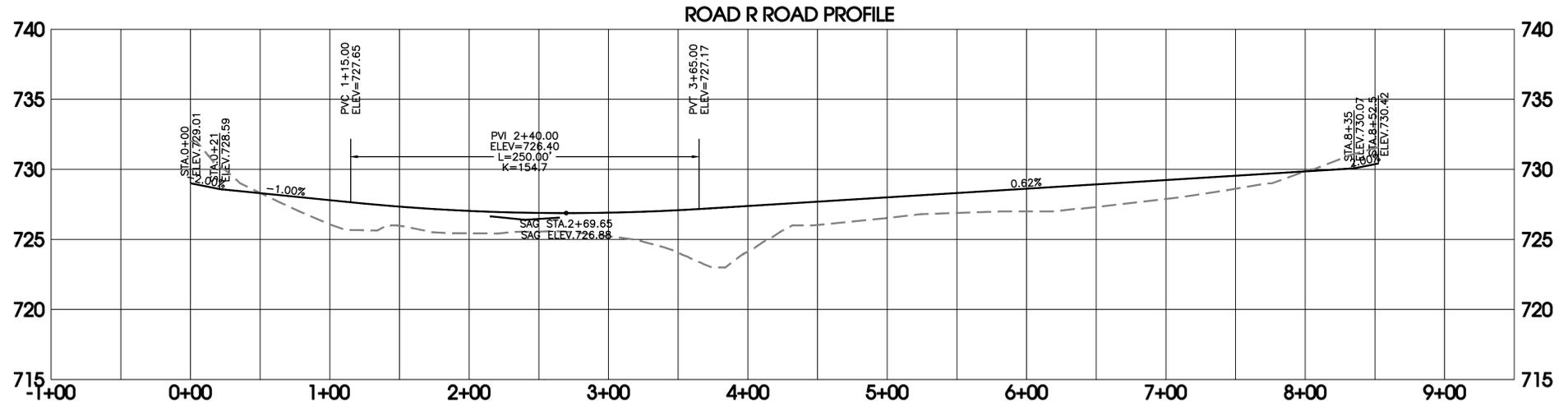
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Road Profiles

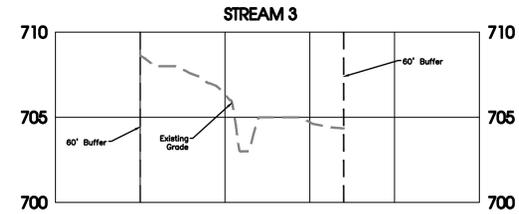
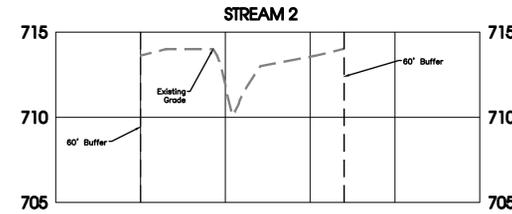
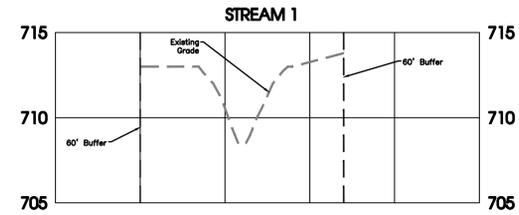
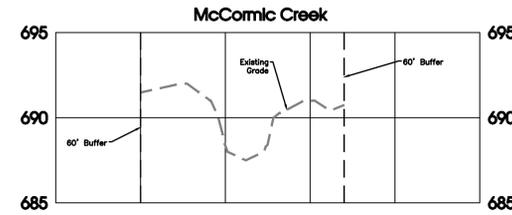


———— PROPOSED GRADE
----- EXISTING GRADE

1"=50' Horiz
1"=5' Vert

SEC, Inc.

SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
NO PORTION OF THIS DRAWING MAY BE REPRODUCED
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———— PROPOSED GRADE
----- EXISTING GRADE

1"=50' Horiz
1"=5' Vert

SEC, Inc.

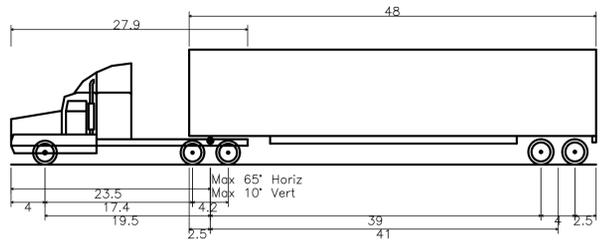
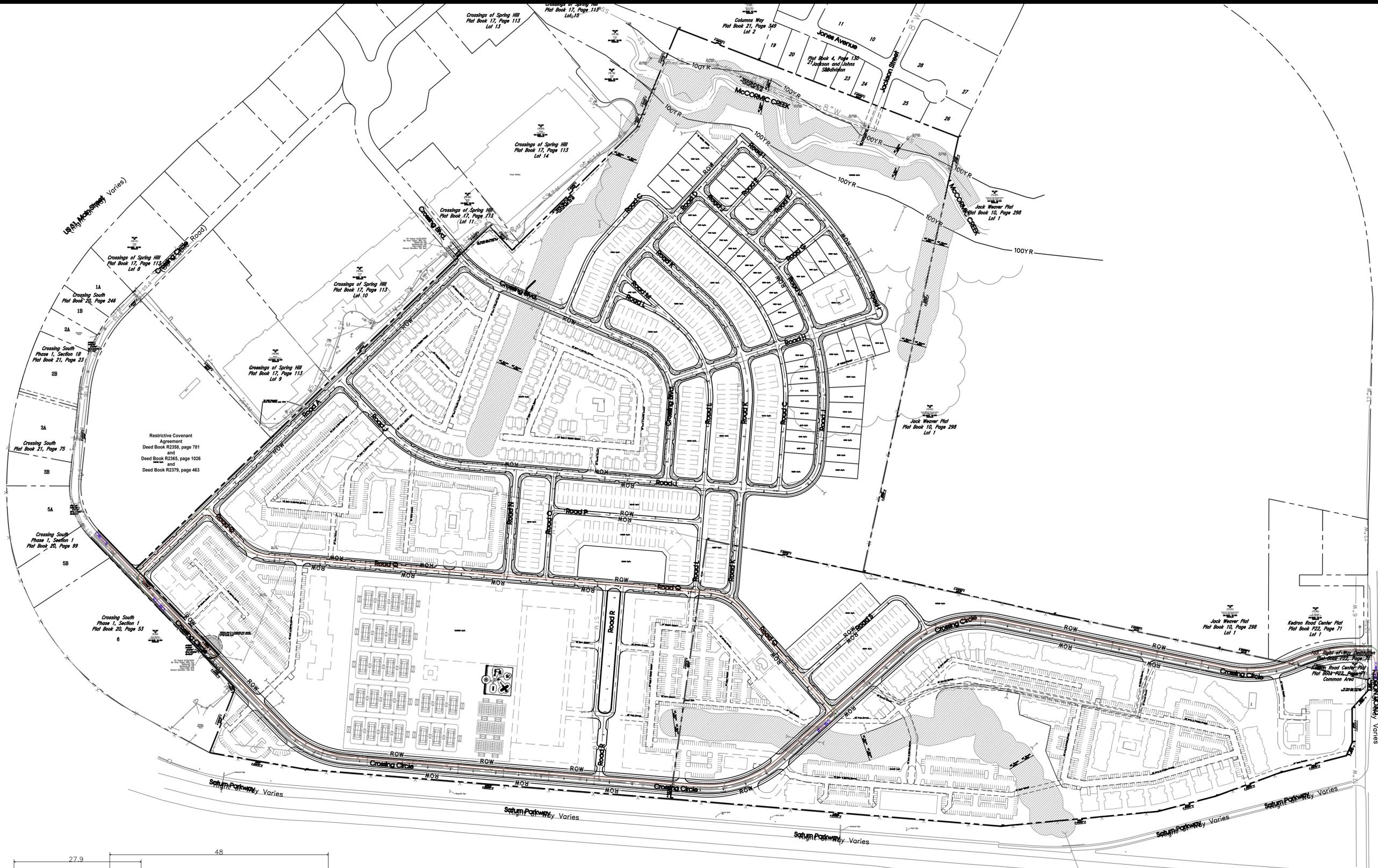
SITE ENGINEERING CONSULTANTS
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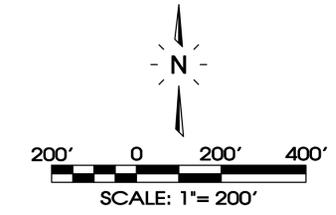
Submittal Date: 09.06.2022
Revision Date:
△ 10-17-2022: Staff Comments
△ 10-31-2022: PC Workshop Comments
△

Stream Profiles
SHEET
C3.17
PROJECT #
22528

**SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN**
Spring Hill, Maury County, Tennessee



WB-62 – Interstate Semi-Trailer
 Overall Length 69.00ft
 Overall Width 8.50ft
 Overall Body Height 13.50ft
 Min Body Ground Clearance 1.33ft
 Max Track Width 8.50ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 44.80ft



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LANDSCAPE ARCHITECTURE

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Submission Date: 09.06.2022
Revision Date:

- △ 10-17-2022: Staff Comments
- △ 10-31-2022: PC Workshop Comments
- △

Master Access Plan

SHEET
C0.4
PROJECT #
22528



DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS PLANNED DEVELOPMENT - PRELIMINARY PLAN

Spring Hill, Maury County, Tennessee



Submission Date: 09.06.2022
Revision Date:

- △ 10-17-2022: Staff Comments
- △ 10-31-2022: PC Workshop Comments
- △

Master Fire Hydrant Separation Sheet

SHEET
C0.5
PROJECT #
22528



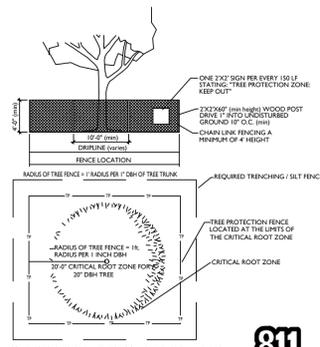
200' 0 200' 400'
SCALE: 1" = 200'

SEC, Inc.

SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129

NO PORTION OF THIS DRAWING MAY BE REPRODUCED
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TREE PROTECTION FENCING DETAIL NTS



TREE PROTECTION NOTES:

1. The tree protection barriers shall be constructed before the issuance of any permits, and shall remain intact throughout the entire period of construction.
2. The tree protection barrier shall be installed as labeled on this plan or a distance to the radius of the dripline, whichever is greatest, as measured from the trunk of the protected tree.
3. Any required excavation in or around the protection zone to accommodate underground services, footings, etc; shall be indicated on the plan, and shall be excavated by hand. In addition, related root pruning shall be accomplished via ANSI A-300-95 standard so as to minimize impact on the general root system.
4. The storage of building materials or stock piling shall not be permitted within the limits of or against the protection barriers.
5. Trees within the protection barriers must be adequately cared for throughout the construction process (i.e., they must be watered sufficiently). Fill shall not be placed upon the root system as to endanger the health or life of the affected tree.

TREE CANOPY RETENTION

TREE AREA	EXISTING TREE CANOPY	PRESERVED TREE CANOPY
	2,168,033 SF (49.77 AC)	1,012,034 SF (23.23 AC)

TREE CANOPY DATA:

TOTAL EXISTING TREE CANOPY:	2,168,033 SF; 49.77 AC
PROVIDED CANOPY PRESERVATION:	1,012,034 SF; 23.23 AC (47%)

KEY - TREE PRESERVATION

- PRESERVED TREE CANOPY
- REMOVED TREE CANOPY

SITE DATA CHART

PROJECT NAME:	SPRING HILL CROSSINGS
PROJECT NUMBER:	028--01600
ADDRESS:	028--01900
PARCEL(S):	
ACREAGE / SF OF SITE:	213.10 AC
EXISTING IMPERVIOUS SITE COVERAGE:	0%
PROPOSED IMPERVIOUS SITE COVERAGE:	NOT TO EXCEED 80%
BASE ZONING:	C-5 & I-1
PROPOSED ZONING:	PD (BASE ZONING OF C-5 FOR ENTIRE PROPERTY)
COMPREHENSIVE LAND PLAN:	COMMUNITY COMMERCE AREA
UNIFIED DEVELOPMENT CODE:	11-15-2021



DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



Submission Date:	10.31.2022
Revision Date:	
△	
△	
△	

OVERALL CONCEPT PLAN
 SHEET
L1.0
 PROJECT # XXXX

SPRING HILL CROSSINGS STREET TREE PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	LEAF	SPACING	NOTES
CANOPY TREES								
⊙	AR	Acer rubrum 'Brandywine'	Brandywine Red Maple	2.5" CAL. B/B	12'-14'	DECIDUOUS	AS SHOWN	MIN. 4' CLEAR TRUNK HEIGHT FROM GROUND
⊙	LS	Liquidambar styraciflua 'Ward'	Cherokee™ Sweetgum Tree	2.5" CAL. B/B	12'-14'	DECIDUOUS	AS SHOWN	OR OTHER SEEDLESS VARIETY. MIN. 4' CLEAR TRUNK HEIGHT FROM GROUND
⊙	QN	Quercus nuttallii 'QNFTA' P.P.#1 3524	Highpoint® Nuttall Oak	2.5" CAL. B/B	12'-14'	DECIDUOUS	AS SHOWN	MIN. 4' CLEAR TRUNK HEIGHT FROM GROUND
⊙	QS	Quercus shumardii	Shumard Oak	2.5" CAL. B/B	12'-14'	DECIDUOUS	AS SHOWN	MIN. 4' CLEAR TRUNK HEIGHT FROM GROUND
⊙	UP	Ulmus parviflora 'UPMTF' P.P.#11,295	Bosque® Lacebark Elm	2.5" CAL. B/B	12'-14'	DECIDUOUS	AS SHOWN	MIN. 4' CLEAR TRUNK HEIGHT FROM GROUND
⊙	ZS	Zelkovia serrata 'Village Green'	Village Green Zelkovia	2.5" CAL. B/B	12'-14'	DECIDUOUS	AS SHOWN	MIN. 4' CLEAR TRUNK HEIGHT FROM GROUND

SITE DATA CHART

PROJECT NAME:	SPRING HILL CROSSINGS
PROJECT NUMBER:	028--01600
ADDRESS:	028--01900
PARCEL(S):	
ACREAGE / SF OF SITE:	213.10 AC
EXISTING IMPERVIOUS SITE COVERAGE:	0%
PROPOSED IMPERVIOUS SITE COVERAGE:	NOT TO EXCEED 80%
BASE ZONING:	C-5 & I-1
PROPOSED ZONING:	PD (BASE ZONING OF C-5 FOR ENTIRE PROPERTY)
COMPREHENSIVE LAND PLAN:	COMMUNITY COMMERCE AREA
UNIFIED DEVELOPMENT CODE:	11-15-2021



DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

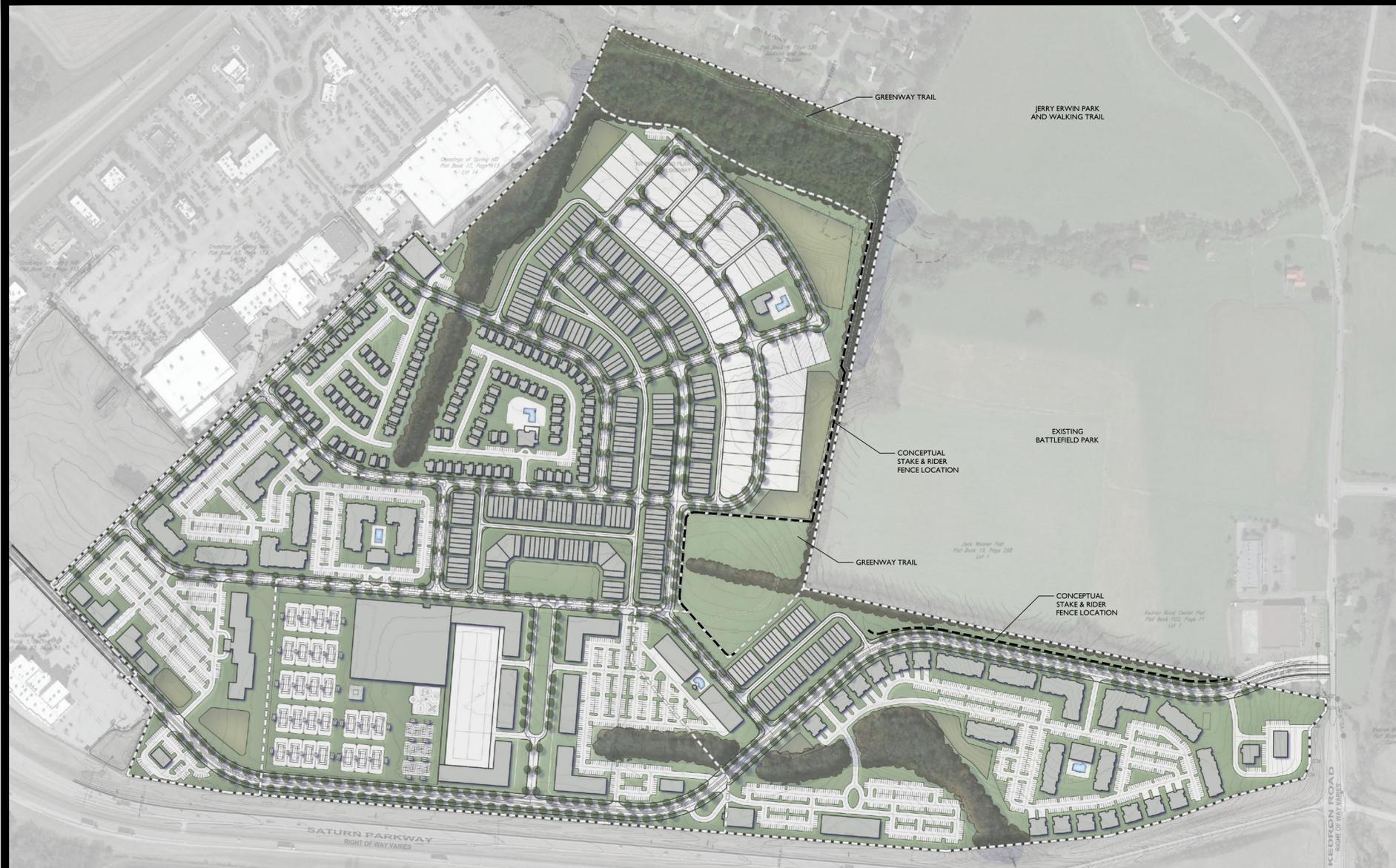


**SPRING HILL CROSSINGS
PLANNED DEVELOPMENT - PRELIMINARY PLAN**
Spring Hill, Maury County, Tennessee



Submitted Date: 10.31.2022
Revision Date

STREET TREE CONCEPT PLAN
SHEET
L2.0
PROJECT #
XXXX



OPEN SPACE & AMENITY PLAN



BIKEWAY & GREENWAY TRAILS AND SIDEWALK NETWORK NTS



DEVELOPMENT PLANNING AND LANDSCAPE ARCHITECTURE

SPRING HILL CROSSINGS
 PLANNED DEVELOPMENT - PRELIMINARY PLAN
 Spring Hill, Maury County, Tennessee



INTERPRETIVE SIGNAGE



STAKE & RIDER FENCING



Submittal Date: 10.31.2022
 Revision Date: _____
 △
 △
 △

AMENITIES PLAN

SHEET
L3.0
 PROJECT #
 XXXX

EXHIBIT C



DATE: December 5, 2022
TO: Board of Mayor and Aldermen (BOMA)
FROM: Pete Hughes, Interim Planning Director
SUBJECT: Ordinance 22-24 (PDP 1284-2022) Preliminary Plan Development for Spring Hill Crossings

Exhibit C:

Planning Commission Action: Alderman Matt Fitterer made a motion and Alderman Trent Linville seconded to favorably recommend PDP 1284-2022 to the BOMA for approval with the forty-two (42) Staff provided conditions of approval. The motion to favorably recommend PDP 1284-2022 to the Board of Mayor and Aldermen with the Staff associated conditions of approval passed by a vote of 6-1. The nay vote was by Chairman Duda.

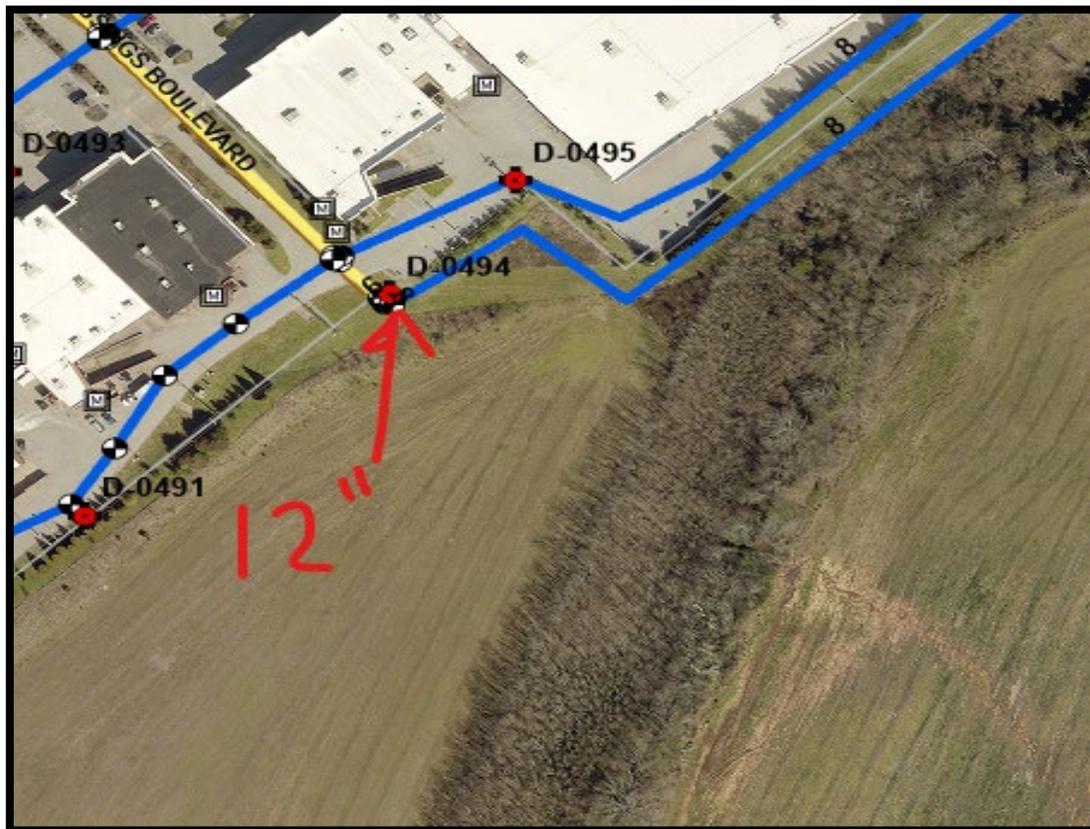
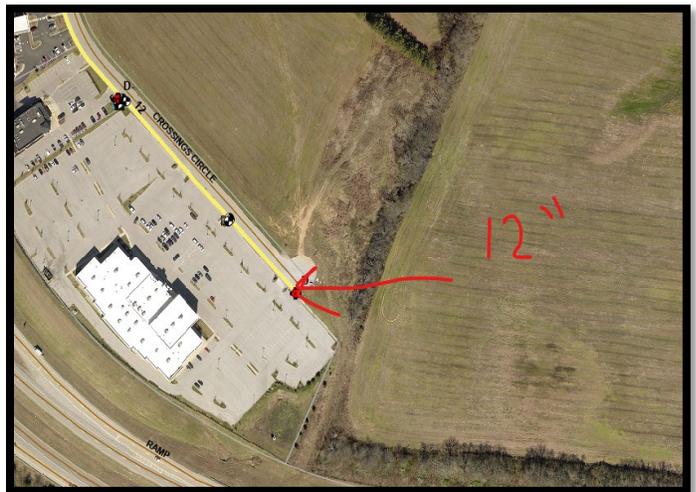
Planning and Engineering Conditions:

1. Approval of this preliminary plan development will be valid and vesting in accordance with the vesting Table 13-2 from the date of Planning Commission approval. Modification to the approved plan may require Planning Commission Approval or BOMA approval. The date of the approval will be tied to and vested in accordance with all city development regulations in place at the time of approval to include, but not be limited to the Unified Development Code last amended October 17, 2022.
2. The final revised preliminary development plan as approved by the Planning Commission and BOMA must be provided to the Planning Department within 30 days of final approval. Please submit the approval with the following documents within one document:
 - a. Technical sheets
 - b. Pattern Book
 - c. Application
 - d. Approval Letter (provided by city)
 - e. Ordinance adopted by BOMA (provided by city)
 - f. Any and all additional documents included as exhibits during the BOMA approval process
3. Tree surveys will be required for each Plan Development Final submittal.
4. The recreational area must be improved prior to the first CO being issued for Phase 4. If the recreation area has been dedicated to the battlefield trust, no improvements are required and this condition is voided.
5. The location of the self-storage building will be limited to the location indicated within the submitted plans and the architectural design and finishes must be congruous with the architectural finishes of the neighboring uses.
6. The applicant must work with staff to identify the approach to managing the developments impact to TDEC streams, stream buffers, and floodplain to ensure compliance with the NFIP is satisfied.
7. Compliance with the USACE Water of the US and endangers species act must be adhered to and coordination with the City Engineer.
8. The plan development final plans must detail crosswalks and ADA ramps at the applicable locations, and there must be ADA access from the sidewalk to all buildings, commercial sites, and public amenity spaces.

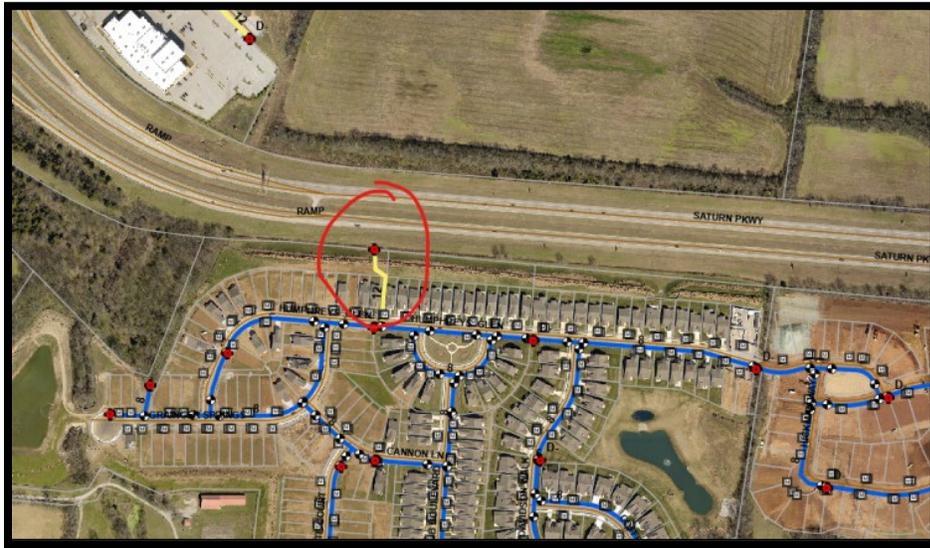
9. The Bulk and Area requirements as presented within the pattern book will dictate lot development criteria.
10. The development will be limited to specific primary and accessory land uses identified within the provided pattern book. Any use that is not explicitly allowed will not be a permitted use. In order to add a use, the plan will be required to be amended through the Plan Development process as outlined in the UDC.
11. All buildings must be oriented to and have a public entrance from the highest street classification that the lot fronts. Public entrances must be visually distinctive from the remaining portions of the façade along which they are located.
12. The applicant must provide complete and sufficient information in the applicable design satisfactorily addressing the City Engineers comments before any permits or a pre-con meeting can occur. Any disagreement on information, design or accuracy of information between the City Engineer and applicant that cannot be resolved must be heard by the Planning Commission for a final determination.
13. All rooftop equipment must be screened in accordance with the UDC.
14. All proposed curb cuts and proposed driveways must comply with table 16-3 “Driveway Spacing” and Article 16.5.D curb cuts of the UDC
15. Stormwater drainage calculations and drainage plans will be required at the time of Plan Development Final (site plan) submittal.
16. Preliminary plats and final plats will be required to be submitted in accordance with the process identified within the UDC. Specific timing of submittals will be determined at the time of Plan Development Final submittal(s).
17. Clear cutting the site is not permitted and. A grading permit is required for all grading activities and reasonable protection and preservation of exiting mature tree growth will be required.
18. Major modification to the street network will require a PDP modification to be approved following the PDP process as describe in Article 13 of the UDC.
19. If phasing and development occur out of order from what has been presented within the proposed pattern book, any condition linked to phasing will be amended administratively by staff through coordination with the developer to ensure conditions as presented correspond accordingly.
20. Where the PDP pattern book and proposed ordinance is silent the UDC base standards will apply, this includes but is not limited to Articles 9, 10, 11, 12, 13, 15, and 17 of the UDC.

Utility Department Conditions of Approval for USTA/SMASH:

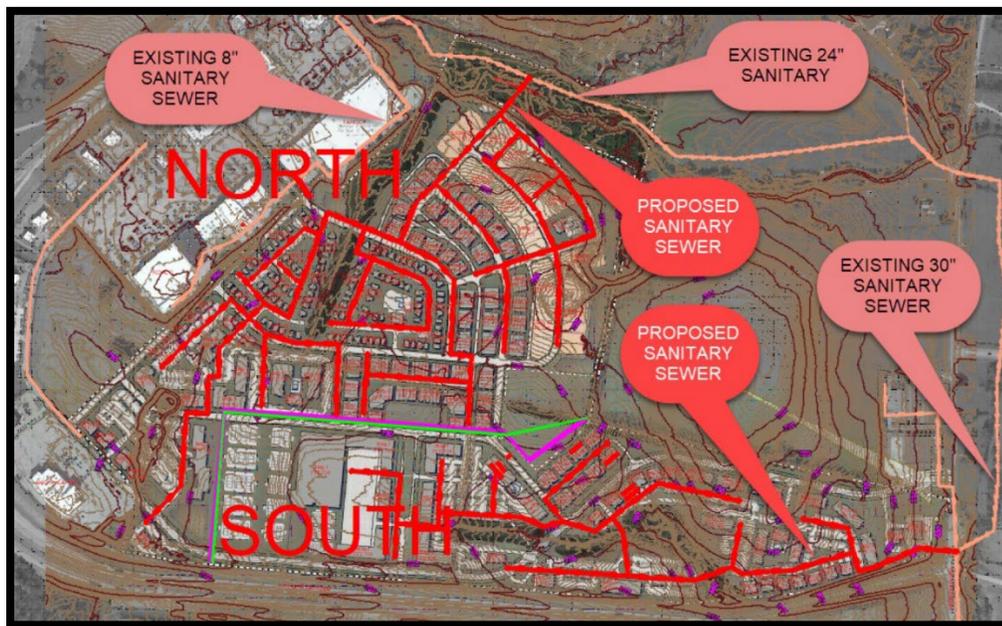
1. This condition shall be confirmed upon final completion of the water modeling results. Phases 1A,1B, and Phase 2 shall be constructed/fed from the existing feeds: The 12-inch Crossing Blvd line, the 12-inch line along Crossings Cir; and the 8-inch feed from Jackson Jones behind Target. (See drawings below.) These improvements must be completed prior to issuance of any building permits.



- The 12-inch water line connecting under Saturn Parkway must be bored and installed prior to issuing building permits for proposed phase 3 as submitted (to be constructed dependent upon water modeling results, or if the water model determines an earlier phase)



- The sanitary sewer line needed to serve the northern sewer shed for the project must be installed prior to issuance of building permits for Phase 1A. The sanitary sewer line needed to serve the southern sewer shed for the project must be installed prior to issuance of building permits for Phase 1B. These conditions are based off the proposed sanitary sewer layout submitted as part of the water and sewer capacity analysis. Any private sewer shall be constructed to public standards.



4. The Utility Department shall review and approve all utility crossings and casings prior to any roads being built so that appropriate provision is made for future utility crossings without having to open cut or bore new roads constructed as part of this development.
5. The Applicant shall coordinate with Utility Department regarding establishing a joint development agreement for potential upsizing of southern sewer shed primary interceptor to make provision to serve future development of properties south of Saturn Parkway. Any upsizing proposals shall be presented to BOMA for review and approval.
6. This development shall be allocated 300,000 gallons of average daily sewer flow. Each future submittal shall include a table showing the sewer allocation and shall note how proposed uses draw down against the allocation. Once the allocation has been fully utilized, no further allocation shall be provided until the wastewater treatment plant expansion has begun construction.
7. Buildings over 75 feet in building height may be required to add a pump or booster pump to provide adequate flows and pressures to upper floors. This shall be determined with each individual project since specific floor heights and sprinkler demands are not known at this time.
8. The applicant shall be required to show the essential domestic water demand along with the non-essential irrigation demand for the whole project broken down by phase. Based on these calculations, the Utility Department shall establish further conditions to provide an allocation of water available from the Water Treatment Plant. The utility department shall review these calculations and work with the applicant to prepare a joint development agreement for utilizing non-potable reuse water to meet non-essential irrigation demand in order to reduce non-essential peak irrigation demand.
9. Any changes to the phasing of the project shall require an update and resubmittal of the water and sewer capacity study and revisions of the conditions may be required.
10. The 12-inch water line connection and main connection to Kedron Rd (**Highlighted in purple**) must be installed and on-line prior to the start of construction of Phases 3 and 4. (This condition is dependent upon water modeling results)



Parks and Recreation Conditions:

1. Greenway trail and associated improvements must be constructed and approved prior to the issuance of vertical construction of Phase 3.
2. Greenway connections to Jerry Erwin Park and to the existing greenway trails located adjacent to the Columns apartments need to be made prior to the issuance of development permits for Phase 4.
3. Trail head at the southern terminus of the proposed greenway trail will be required in accordance with the Bike and Greenway Plan.

Public Works and Street/Traffic Improvements Conditions:

1. Additional ROW dedication may be required to accommodate necessary intersection improvements.
2. Compliance with the USACE Water of the US and endangers species act must be adhered to and coordination with the City Engineer.
3. According to the City's MTP (Proposed Functional Classification), Crossing Boulevard (thru the proposed development) is classified as an arterial from Kedron Road to the tie-in with the existing Crossing Boulevard. Therefore, the design of this facility must meet arterial design criteria as outlined by the UDC and/or AASHTO or TDOT.
4. Prior to the issuance of the first CO of each development phase, a fee-in-lieu equivalent to \$3,500 per signalized intersection must be paid to the city, for re-timing the signalized intersections impacted by the development as identified within the TIS and updated TIS.
5. Kedron Access and full development of crossing Blvd. must occur prior to the issuance of the first CO.
6. All recommended road improvements as identified in the final approved Master TIS must be in place prior to the issuance of the first CO phase 1A or 1B.
7. All construction traffic for all phases must utilize the Kedron ingress and egress. A construction traffic and mitigation plan must be submitted and approved prior to the issuance of a grading permit. If construction activity needs to utilize Crossings Blvd and Main Street, this will require coordination and approval from the Public Works Director and City Engineer.
8. Improvements of the roundabout as identified with in the Master TIS must be improved prior to the start of vertical construction of Phase 2.
9. The applicant must update and obtain approval of the TIS. The TIS should address all recommended improvements necessary to mitigate the development traffic on the City roadway network within the study area as outlined in the TIS. This may include additional lanes and/or intersection improvements, additional storage capacity of turn lanes to address queue spillback beyond existing available storage lengths, intersection control, i.e., traffic signalization, bicycle/pedestrian facilities, traffic signal timings, development of Special Event Management Plan. Prior to BOMA 1st reading of the project. Additional conditions may be made/recommended based on the outcome of the study.